



## AGENDA

### SOLVANG PLANNING COMMISSION TUESDAY SEPTEMBER 02, 2025 6:00 PM REGULAR MEETING

**Planning Commissioners:**

Jack Williams, Chair  
Kief Adler , Vice Chair  
Aaron Petersen  
Brandon Sparks-Gillis  
William Zigler

1644 Oak Street, Solvang, CA 93463  
Virtual & in Council Chamber

**AGENDA AND SUPPORTING MATERIALS** – Available for viewing 8:00a.m.-5:00p.m. at City Hall, 1644 Oak Street, Solvang, and on the City’s website <https://www.cityofsolvang.com/agendacenter>. Additional writings distributed to a majority of the City Council after the posting of the agenda will be made available at City Hall and on the City’s website.

**AGENDA POSTING NOTIFICATION** - Subscribe to receive email or text message notifications when agendas are posted online through “Notify Me” at: <https://www.cityofsolvang.com/List.aspx>

**PUBLIC COMMENT** - The public is encouraged to address the City Council in-person, virtually, or in-writing on agenda and non-agenda items. If provided in writing, comments must be submitted to the City Clerk at [cityclerk@cityofsolvang.com](mailto:cityclerk@cityofsolvang.com) by 5:00 p.m. on the Friday before the meeting to be considered. Your comment will be recorded and distributed appropriately. Comments on agenda items will be heard at the time each item is considered, including non-agenda items. In-person speakers will be invited to make public comments first. Virtual speakers will follow.

**CAMPAIGN CONTRIBUTION DISCLOSURE** - Pursuant to Government Code Section 84308, any party to a City proceeding must disclose on the record any campaign contributions made to a member of the City Council [or commission] in excess of \$250 in the past 12 months. This disclosure requirement includes contributions by the party’s agent and aggregated contributions from persons or entities related to the party. Please make the disclosure as soon as possible, but not later than the beginning of the proceeding.

**AMERICANS WITH DISABILITIES ACT** - If, as a participant of this meeting, you need special assistance the City will attempt to accommodate you in every reasonable manner. Please contact the City Clerk at either (805) 688-5575 x206 or [cityclerk@cityofsolvang.com](mailto:cityclerk@cityofsolvang.com). 72- hours’ notice is requested.

**LET YOUR VOICE BE HEARD!** Do you have about one minute a month to help make Solvang better? The City of Solvang is working with FlashVote to engage the community and gather valuable input from residents to inform our decisions. We encourage residents to sign up at [www.flashvote.com/Solvang](http://www.flashvote.com/Solvang) to participate by phone or text only.

**PARTICIPATING IN THE MEETING** – Planning Commission meetings will be in person and conducted by video/teleconferencing through Zoom. The meeting will also be broadcast live on Channel 23 and streamed on the City’s website, Vimeo, and YouTube.

- To join by Zoom, visit <https://zoom.us/j/3066529195>. If you wish to speak, please use the “raised hand” symbol.
- To join by phone, call (888) 788-0099 and enter Meeting ID: **306 652 9195#**. The phone line will be open 30 minutes before the meeting.

**6:00 PM REGULAR MEETING OF THE PLANNING COMMISSION**

**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**1. APPROVE THE ORDER OF THE AGENDA**

*At this time the Commission reviews the order of business to be conducted and receive requests for, or makes announcements regarding any change(s) to the order of business.*

**2. PUBLIC COMMENT**

*The Public may address the Commission on items not on the Agenda and on Consent. Each speaker will be afforded three minutes and may speak only once. State Law does not allow action to be taken unless it is noticed on the agenda. The Commission may briefly respond or ask Staff to follow up on such items and/or schedule the matter to a future meeting.*

**3. CONSENT ITEMS**

- a. Approve Minutes of June 2, 2025 Planning Commission Meeting
- b. Receive and file Community Development Major Projects List September 2025

**4. EX PARTE COMMUNICATION**

*This section is intended to allow all officials the opportunity to reveal any disclosure or ex-parte communication regarding the following public hearings.*

**5. PUBLIC HEARINGS:**

- a. Public hearing to consider an Appeal of Community Development Director's determination approving amendments to facades and building colors with modifications to a previously approved Development Plan for 1704 Mission Drive (APN 139-240-033) (PA 25-035).

**6. DISCUSSION ITEMS:**

**7. PLANNING COMMISSIONERS' COMMENTS**

**8. PLANNING MANAGER REPORT**

**9. ADJOURNMENT**

**AFFIDAVIT OF POSTING**

I, A. Rafael Castillo, Planning Manager, for the City of Solvang, California, DO HEREBY CERTIFY under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the City of Solvang City Hall bulletin board at 1644 Oak Street, Solvang, CA and on the City of Solvang website not less than 72 hours prior to the meeting, per Government Code 54954.2.

Dated August 28, 2025.



## PLANNING COMMISSION STAFF REPORT

AGENDA ITEM: 3.a

MEETING DATE: September 2, 2025

**SUBJECT:** Approve Minutes of June 2, 2025 Planning Commission Meeting

**PREPARED BY:** Lisa Scherman

---

**DISCUSSION:**

Attachment A contains the minutes from the Planning Commission's June 2, 2025 meeting for review and approval.

**ALTERNATIVES:**

The Planning Commission can direct city staff to provide substantive corrections such as votes or absences.

**FISCAL IMPACT:**

None.

**ATTACHMENTS:**

A. Minutes of June 2, 2025 Planning Commission Meeting.



**MINUTES  
SOLVANG PLANNING COMMISSION  
MONDAY, JUNE 2, 2025**

Regular Meeting – 6:00 PM

---

**6:00 PM REGULAR MEETING OF THE PLANNING COMMISSION**

**CALL TO ORDER**

Chair Williams called the Regular meeting to order at 6:00 PM in the City Hall Council Chamber, 1644 Oak Street, Solvang, California.

**ROLL CALL**

Present: Commissioners Brandon Sparks-Gillis, Aaron Petersen, William Zigler, Vice Chair Kief Adler, and Chair Jack Williams

Staff: Assistant City Attorney Taylor Foland (via Zoom), Planning Manager Rafael Castillo, Public Works Director Bridget Paris, Assistant Planner Lisa Scherman

**PLEDGE OF ALLEGIANCE**

Commissioner Sparks-Gillis led in the Pledge of Allegiance.

**1. APPROVE ORDER OF AGENDA**

*Motion by Commissioner Petersen to approve the Order of Agenda, as presented, seconded by Vice Chair Adler, and carried 5-0.*

**2. PUBLIC COMMENT - None**

**3. CONSENT ITEMS**

- a. Approve the Minutes of the May 5, 2025 Regular Meeting
- b. Receive and file Planning and Building Division Current Projects June 2025

*Motion by Vice Chair Adler to approve Consent Items, as presented, seconded by Commissioner Zigler, and carried 5-0.*

**4. EX PARTE COMMUNICATION - None**

**5. PUBLIC HEARINGS**

- a. Discussion and possible action to approve Planning Commission Resolution 25-03 recommending the City Council amend the Safety Element of the Solvang General Plan

Planning Manager Castillo narrated a PowerPoint presentation with details of proposed amendments to the Safety Element of the Solvang General Plan.

Chair Williams opened the public hearing and invited public comments.

There were no public comments, and the public hearing was closed.

*Motion by Vice Chair Adler to approve Planning Commission Resolution 25-03, as presented, seconded by Commissioner Sparks-Gillis.*

Commissioner Ziegler mentioned the need to correct duplication related to tribal notification.

*Substitute motion by Vice Chair Adler to approve PC Resolution 25-03, as amended, correcting the duplication related to tribal notification, seconded by Commissioner Sparks-Gillis, and carried 5-0.*

## **6. DISCUSSION ITEMS**

- a. Discussion and possible action to approve Planning Commission Resolution No. 25-04 making the General Plan Consistency Determination for the City of Solvang Capital Improvement Program for Fiscal Year 2025-26

Public Works Director Paris presented a report regarding possible action to approve Planning Commission Resolution No. 25-04 making the General Plan Consistency Determination for the City of Solvang Capital Improvement Program for Fiscal Year 2025-26.

Discussion followed regarding the various CIP projects, the Capital Improvement Plan and policy decisions that City Council will need to make.

Chair Williams invited public comments.

There were no public comments at this time.

Discussion followed regarding having discussions with Caltrans, the Fjord extension, consistency with the General Plan, planning for subsequent years, addressing parking concerns, the need to increase in-lieu fees, including parking studies for next year's plan, the possibility of including the development of a Parking Master Plan in the CIP for next year.

Assistant City Attorney Foland reported the direction for what is included in the CIP and the priorities those take will come from City Council and stated that the process for changing in-lieu fees is highly technical and fees must match costs.

Administrative Services Director Berry explained the longer projects get delayed, the more they will cost and reported an impact fee study is being planned by the end of the year.

*Motion by Commissioner Zigler to approve PC Resolution 25-04, as presented, seconded by Vice Chair Adler, and carried 5-0.*

## **7. PLANNING COMMISSIONERS' COMMENTS**

Commissioner Petersen discussed the condition of the shade cloths on Alisal Road, near Birkholm's Bakery.

## **8. PLANNING MANAGER REPORT**

Planning Manager Castillo reported on projects City staff is working on; addressed new changes to fees for the Planning Department and upcoming agenda items for the City Council and stated there are no items for this Commission's July meeting, currently.

## **9. ADJOURNMENT: 6:45 PM**

Respectfully submitted:

---

Rafael Castillo  
Planning Manager



## PLANNING COMMISSION STAFF REPORT

AGENDA ITEM: 3.b

MEETING DATE: September 2, 2025

**SUBJECT:** Receive and file Community Development Major Projects List September 2025

**PREPARED BY:** Rafael Castillo, AICP, Community Development Director

---

**DISCUSSION:**

Attachment A contains the major project under the jurisdiction of the Community Development Department that is currently approved, being processed, or under construction.

**ALTERNATIVES:**

None.

**FISCAL IMPACT:**

None.

**ATTACHMENTS:**

A. Community Development Major Projects List September 2025



**CITY OF SOLVANG  
COMMUNITY DEVELOPMENT – MAJOR PROJECT LIST  
September 2025**

Project #	Applicant	Project Name	Address	APN	Zoning	Project Description	Project Status	Expiration Date
<b>PROJECTS UNDER CONSTRUCTION – Building Division</b>								
<b>New Residential Units / Commercial Construction greater than 1,000 square feet</b>								
LUP 22-266	Jensen Family Trust	New multi-family Development	420 Fifth Street	139-174-045	R-3	5 Unit multi-family development with 1 ADU	Building Permit Issued	12/21/2025
LUP 23-111	Olsen Fam TR	Solvang Inn and Cottages Remodel	1515 Mission Dr	139-172-010	VMU	Commercial TI to Solvang Inn & Cottages. Convert existing managers unit to common area and lobby. Remodel lobby. Project has been re-scoped to reduce rooms/office.	Building Permit Issued – Permit expiration letter to be issued	10/28/2025
LUP 22-282	Solvang Senior Center	Solvang Senior Center	1745 Mission Dr	139-150-024	PI	Demolish existing structures and replace with a new 2 story, 5,640 sf commercial / office space	Building Permit Issued	01/27/2026
LUP 210223/ 210224/210221	Bella Vista SYV, LLC	Bella Vista	1875,1879,1883 Laurel	139-100-049,048,047	R-2	3 new SFR from an existing subdivision	Building Permit Issued – Permit expiration letter to be issued	10/10/2025
BP 24-042	On Design LLC	1704 Mission Drive hotel	1704 Mission Drive	139-240-033	VMU	New 9 Unit hotel cottages and meeting space	Project on hold-revisions	01/20/2026
LUP 23-215	Romain	New ADU/ SFR addition	1618 Birch	139-233-002	R-2	1,031 SF detached ADU with a 691 SF addition to existing SFR with ancillary structures	Building Permit Issued	01/25/2026
BP 24-198	On Design LLC	Parking Lot re-configuration, re-striping, flat work	1693 Mission Drive	139-143-025	VMU	Re-configuration of parking lot, re-striping, and repair of existing flatwork, removal of existing landscaping and replacement of landscaping new trees.	Building Permit Issued	02/04/2026
LUP 23-284**	Gutierrez	New ADU	516 Fifth Street	139-132-016	VMU	New ADU and garage demo	Building Permit Issued	02/27/2026
BP 24-215	Schafer Family Trust	Minor Commercial TI	435 Alisal Road	139-193-010	VMU	Minor Commercial TI for new Thai Restaurant	Building Permit Issued	07/14/2026
BP 25-026**	Choi	JADU Garage Conversion	240 Third Street	139-222-006	R-2	Conversion of garage into JADU (deed restriction recorded)	Building Permit Issued	08/08/2026



**CITY OF SOLVANG  
COMMUNITY DEVELOPMENT – MAJOR PROJECT LIST  
September 2025**

Project #	Applicant	Project Name	Address	APN	Zoning	Project Description	Project Status	Expiration Date
<b>PROJECTS UNDER BUILDING PERMIT REVIEW – Development Review Team (Planning, PW, Utilities, SBC FD, Building)</b>								
**denotes permits not requiring discretionary review per California Government Code and/or Solvang Municipal Code								
<b>New Residential Units / Commercial Construction greater than 1,000 square feet</b>								
BP 24-182**	Whitey	New SFR plus JADU	2002 High Meadow Road	139-520-019	R-1	New SFR plus JADU (deed restriction required)	Ready to Issue	01/11/2026
BP 25-044**	Solvang Brewing Company	Minor Tenant Improvement: Kitchen Remodel	1547 Mission Drive	139-132-010	VMU	Commercial kitchen remodel due to fire damage	Out for Corrections	10/19/2025
BP 25-046	Solvang Senior Center	Solvang Senior Center Plan Revisions	1745 Mission Dr	139-150-024	PI	Revisions to approved building permit LUP 22-282 + Elevator under separate permit	Approved	01/27/2026
BP 25-054	Solvang Hospitality Management	Marlo Hotel Landscaping/Site Revisions	293 Alisal Rd	139-234-002	VMU	Exterior Site Revisions including landscaping, parking lot, trash enclosure, ADA accessibility	Plan Review	11/15/2025
BP 25-085**	Arris Studios Architects	423 2 <sup>nd</sup> Adaptive Re-use/Mixed-Use	423 Second Street	139-191-007	VMU	Adaptive re-use conversion of commercial space to 2 new residential units and 500 sf of remodeled commercial	Out for Corrections	01/03/2026
BP 25-092**	On Design LLC	Minor Tenant Improvement: Dining, manufacturing, bathrooms	1693 Mission Drive	139-143-025	VMU	Interior tenant improvement for A 1,960 SF ice cream parlor including an ice cream production and ADA bathrooms	Out for Corrections	01/26/2026
BP 25-097**	Bates	Residential Conversion to ADU	727 Rosklide Rd	137-480-003	R-1	The conversion of the lower floor reducing illegally converted units from 2 to 1 unit.	Out for Corrections	01/31/2026
<b>APPROVED ENTITLEMENTS – Planning Division</b>								
LUP 180114	1420 Mission Drive LLC	New Hotel	1420 Mission Drive	137-590-010	VMU	New 11 Unit Hotel	Approved	11/06/2025
LUP 210183	Darkstar Development, LLC	670 Alamo Pintado Condos	670 Alamo Pintado	139-530-005	R-3	Condo Map 32 Unit Development	Approved	12/04/2025
LUP 22-011	Cearnal Collective	Sansum Clinic	1925 Windmill Ln	139-540-013,014	PO	New 30,000 sf medical/office building	Approved	2/06/2026
LUP 23-302	Lonnie Roy	LUCCA Market & Deli Amendment	1714 Mission Drive	139-240-034	VMU	Proposed additions to the existing structure along the existing drive thru.	Approved	04/07/2027



**CITY OF SOLVANG  
COMMUNITY DEVELOPMENT – MAJOR PROJECT LIST  
September 2025**

Project #	Applicant	Project Name	Address	APN	Zoning	Project Description	Project Status	Expiration Date
PA 24-003	Valeueven Fam / Power Trust	Valeueven Fam / Power Trust	700 Mesa Dr	137-750-014/137-120-083	PR	3 Parcel Lot Line Adjustment	Approved	04/18/2027
<b>PLANNING APPLICATIONS IN PROCESS – Planning Division</b>								
LUP 23-242	Lots on Alamo Pintado LLC	Wildwood-SB 330 Application	N/A	139-530-001,002	R-3/R-1	Proposed 100 multi-family units with 20 affordable housing units with proposed State Density Bonus. Utilizing SB 330 application via CGC Section 65941.1	Applicant request project to be on hold	extended by applicant/city
PA 25-010	SBID, LLC	Denmarket Square Adaptive Re-Use	1693, 1697 Mission Drive	139-143-021,25	VMU	Lot Merger and Conversion of office/retail upstairs to 30 multi-family residential units	Incomplete. Awaiting Re-submittal	02/24/2026
PA 25-013	Alvarez	Alisal Cellars Night Club-CUP	448 Alisal Road	139-240-063	VMU	Conditional Use Permit (CUP) for proposed night club with indoor amplified music, no new construction	Incomplete. Awaiting Re-submittal	03/14/2026
PA 25-019	Cottage Hospital	CUP Amendment	2050 Virborg Road	139-310-051	OP	CUP amendment for an addition to the existing hospital – MRI room	Incomplete. Awaiting Re-submittal	04/22/2026
PA 25-020	SIMA Corp	1621 FIR TPM	1621 Fir Street	139-141-004	R-3	Condo Conversion/Tentative Parcel Map to subdivide into 3 air space parcels	Incomplete. Awaiting Re-submittal	04/22/2026
PA 25-035	On Design Architects	1704 Mission Hotel – Director Determination	1704 Mission Drive	139-240-030	VMU	Director determination for proposed façade revisions and consistency with previously approved plans	Director Determination Appealed – PC 09/02/25	
PA 25-042	On Design Architects	1697 Copenhagen Drive Adaptive Re-Use	1697 Copenhagen Drive	139-182-021	VMU	Conversion of 2nd. floor office spaces to four one bedroom/ bath residential units. One unit is proposed as an ADU. Replace 1st. floor windows of tenant spaces D & E and fill with walls.	Project Review	08/18/2026
PA 25-043	Valeueven Fam / Power Trust	Final Map for Lot Line Adjustment	700 Mesa Drive	137-750-014/137-120-083	PR	3 Parcel Final Map in connection to PA 24-003	Project Review	08/27/2026



## PLANNING COMMISSION STAFF REPORT

AGENDA ITEM: 5.a

MEETING DATE: September 2, 2025

**SUBJECT:** Public hearing to consider an Appeal of Community Development Director's determination approving amendments to facades and building colors with modifications to a previously approved Development Plan for 1704 Mission Drive (APN 139-240-033) (PA 25-035).

**PREPARED BY:** Rafael Castillo, AICP, Community Development Director

---

### DISCUSSION:

#### Background

On December 4, 2023, the Planning Commission approved a "Development Plan" for a proposed development that included the following:

- Construction of nine (9) separate cottages ranging in size from 250 to 390 square feet (sf) that will serve as one-bedroom hotel rooms covering approximately 3,575 sf of the site ( 21.9%)
- An on-site ancillary building approximately 400 sf serving as a gathering area.
- A separate supply room is attached to one of the cottages, as shown in the proposed project plans.
- Courtyard and perimeter landscaping approximately 8,250 sf or 50% of the net site area.
- Perimeter stone wall

The applicant was issued a building permit (BP 24-042) and a grading permit (BP 24-129) for this project in December 2024. The applicant commenced construction in late December, however stopped construction for a brief period before resuming construction in Spring 2025. The applicant commenced façade finishes however deviated from the approved building permit/entitlements. City staff informed the applicant in late May 2025 of the deviation and the requirement to receive an amendment to the entitlement. The applicant applied for an amendment to the approved plans, requesting a change to the facades consistent with Condition PLN-8 of PC Resolution 23-14, which allows the Planning Manager to review and approve minor amendments. The Design Review Committee weighed in on the proposed amendments and provided feedback to assist the Community Development Director on their decision. On July 23, 2025, the Community Development Director issued a determination and notice of approval with modifications (Attachment A). The applicant has appealed this determination and wishes to proceed with the façade revisions as completed. Additionally, the applicant has requested modifications to the site plan and landscaping plan be considered by the Planning Commission.

View of Current Construction at 1704 Mission Drive



Proposed Project Site Summary:

**Property Owner:** Archdiocese of Los Angeles

**Applicant:** SBID, LLC

**APN:** 139-240-033

**General Plan Designation:** Tourist Related/Village Commercial

**Zoning:** Village Mixed-Use (VMU) / Design District – Village District (DD-1)

**Surrounding Uses:**

North: Village Mixed-Use (VMU)/Existing Hotel

South: Public/Institutional (PI)/Public Parking lot

East: Village Mixed-Use (VMU)/Vacant Building

West: Alisal Road Right of Way



Appeal of Approved or Modified Amendments:

The applicant has appealed the Community Development Director's determination for minor changes to the facades for units 2-9 and the proposed meeting hall which is designed as a chapel and provided additional amendments from what was previously analyzed (Attachment B). The applicant proposes the following amendments in addition to what was initially proposed in June 2025, and presented to the DRC in July:

- Modification of the approved site plan re-orienting buildings and addition of a trellis on the south end of the property.
- Modification of the approved landscaping plan eliminating a significant portion of the proposed landscaping within the site.
- Modifications of the proposed windmill façade with the addition of brick and color deviation.
- Additional proposed color changes to units identified in Attachment C.





### Proposed Site Plan and Landscaping Plan Amendments:

The proposed site plan amendments are minor in nature and include a proposed new trellis adjacent to the City's Parking lot and straightening the accessible path of travel along the property line adjacent to 1714 Mission Drive (Old Bank Building). Building A has been slightly re-oriented to the corner of Mission Drive and Alisal Road, while Units 2, 3 and 4 have been moved closer to the property lines. The approved plan includes parking at 1693 Mission Drive (Denmarket Square). A proposed 10 parking spaces were to be striped and dedicated to the hotel development, consistent with the municipal code in effect at the time of development plan approval. Due to the location of the parking, the project was conditioned to include a new ADA curb-ramp at the intersection of Alisal Road and Mission Drive. The applicant has requested a revision to the conditions of approval allowing for removal of the ADA ramp requirement if parking is provided at 1714 Mission Drive (adjacent lot). City staff recommends modification of that condition to allow this to occur, and supports the parking to be located on the adjacent lot versus across the street.

The proposed landscaping plan substantially deviates from the originally approved plan. The applicant proposes eliminating much of the landscaping that was initially approved and replacing it with hardscaping, and synthetic turf. The initial concept was to mimic a garden; however, the applicant proposes the use of the space to allow for events and other gatherings, therefore is proposing to eliminate much of the landscaping to accommodate these events. City staff recommend the following be added to amended conditions of approval for consistency with the adopted General Plan at the time of development plan approval and adopted design guidelines.

- Revised landscaping plan shall be amended to include additional tree plantings on-site, specifically near unit 2, between units 3/4, and the meeting hall as shown in the resolution.
- Revised landscaping plan shall be amended to include additional landscaping between units 6/7, specifically low ground shrubs to the satisfaction of the community development director
- Revise landscaping plan to include shrubs along Alisal road and the proposed new wall.
- Wall shall be re-built from the corner of Building F to proposed new sidewalk and ensure the wall is wholly located on the property.
- Proposed new fencing shall be submitted to be reviewed and approved by city staff. This shall include all proposed fencing and walls.
- Applicant shall revise all stormwater calculations and submit for revisions for consistency with the Solvang Municipal Code to be reviewed and approved by the City Engineer.
- Any additional on-site lighting shall be in conformance with Solvang Municipal Code section 11-10-A7.C.
- Applicant shall be required to ensure path of travel meets all applicable California Building Code requirements.

### Proposed Facade Amendments:

Attachment C includes the analysis completed by the Community Development Director with a side by side comparison from the previously approved project, and the proposed revisions. The Planning Commission has the following options:

- Uphold the Director's determination in its entirety as shown in Attachment C;
- Approve the appeal of the applicant, allowing for revisions to facades in Attachment B;
- Approve modifications to either attachments and B or C.

### Community Design Element Policies/Objectives

The Following are pertinent policies that the proposed amendments shall meet that were contained in the 1989 Community Design Element.

- Policy 5.c – The city shall establish guidelines for the entrances to the Village theme area to establish and reflect appropriate Danish/Northern European architecture.
- 4.3.1 Village Area: All new construction and remodels within the Village Area shall be within the traditional and historic Danish theme or design vernaculars which are found in Denmark or neighboring northern European countries. Eighteenth century, half-timbered in Denmark are encouraged.
- 4.3.1 Village Area: Real slate or thatched roof materials are acceptable. Tile roofs may be clay or concrete. Color is to be red or red mix and consistent with Danish roof tile designs. Metal roofs must have a standing seam and appear to have been oxidized from copper to green, giving a patina of age.

- Lighting fixtures, gates, exterior window treatments, use of materials, color and the use of potted plants must be considered relative to traditional authenticity and detail.

Based on the proposed modification to conditions as proposed by city staff, the proposed amendment meets the intent of these policies and objectives.

#### 2008 Land Use Element Policies/Objectives

The Following are pertinent policies that the proposed modifications will need to meet that were contained in the Land Use Element.

- Goal 2 - Ensure that development in the city is consistent with the overall community character and contributes positively towards the city's image.
- Policy 2.2 - Ensure that commercial development is located conveniently and is consistent with the Community Design Element of the General Plan.
- Goal 3 - Promote and beautify the city as a tourist destination and provide a pleasant atmosphere for residents.
- Policy 3.1 - Encourage tourism and civic pride by creating entry points to the City.

Based on the proposed modification to conditions as proposed by city staff, the proposed amendment meets the intent of these policies and objectives.

#### Design Guidelines

The following are parenting policies that the proposed modifications will need to meet that are adopted:

- New construction within the Village area shall be within the traditional and historic Danish theme or design vernaculars of eighteenth century, half timbered buildings which are found in Denmark or neighboring northern European countries.
- All exterior elevations shall be integral to the traditional design theme stated in number 1, above. Buildings should demonstrate compatibility in materials and consistency in style throughout all elevations.
- Real slate or thatched roof materials are acceptable. Tile roofs may be clay or concrete. The tile color is to be approved by the B.A.R. The roof tile designs must be consistent with Danish roof tile designs consisting of larger flat pans with a small barrel. Metal roofs must be constructed with panels with a standing seam and appear to have been oxidized from copper to green, giving a patina of age.
- 1/2 timbering (bindingsvaerk) or other methods to emulate 1/2 timbering may be required and where used, it shall be demonstrated that the use emulates the authentic appearance and pattern of historic buildings in Europe.
- Buildings shall be designed so that the 1/2 timbering (bindingsvaerk) is darker in color to contrast and resemble the finish of traditional old world buildings.

The adopted Design Guidelines does not have a specified color palette or adopted color schemes for the Village. Based on the proposed modification to conditions as proposed by city staff, the proposed amendment meets the intent of these policies and objectives.

#### Zoning Ordinance Consistency:

The proposed project is located in the Village Mixed-Use Zone (VMU) which was formerly known as the TRC zone. There is no proposed changes in building coverage, height, or setbacks from the property lines. The applicant proposes a reduction in the amount of landscaping, however, the TRC zoning at the time of approval did not include a minimum amount of landscaping.

#### Public Works

The public works department reviewed the proposed amendments and has provided amended conditions to ensure consistency with the municipal code.

#### Santa Barbara County Fire Department

The Santa Barbara County Fire Department reviewed the previous entitlement and has no changes in the conditions of approval. These are incorporated into the resolution.

### Design Review Committee

The Design Review Committee met on July 17, 2025 to provide input on the proposed façade amendments. The DRC's recommendations were included in the Director's determination and are included in Attachment C.

### CEQA Determination

A previous Class 32 infill exemption was adopted by the Planning Commission as a part of the original project approval. The proposed amendment does not involve the increase in size of structures, heights, etc. Therefore, the exemption remains.

### Recommendation

The Planning Commission uphold the Community Development Director's determination and allow for project amendments consistent with the conditions added for facades and colors based.

### **ALTERNATIVES:**

1. The Planning Commission may Request changes to the proposed amendment to the adopted development plan (permit). The Commission should be specific on the proposed changes, and direct city staff to make those changes in the attached resolution.
2. The Planning Commission may approve the appeal by the applicant and allow for façade amendments based on the applicant's design scheme as shown in Attachment B. If the Planning Commission approves the appeal, the Planning Commission shall direct staff to modify exhibits in Planning Commission Resolution 25-05.

### **FISCAL IMPACT:**

Appeal fees have been paid.

### **ATTACHMENTS:**

- A. Community Development Director Letter
- B. Applicant Proposed Amendments with cover letter
- C. Director Determination of Façade Changes
- D. Planning Commission Resolution 25-05



# CITY OF SOLVANG

Community Development Department | Planning Division  
411 Second Street | Solvang, CA 93463 | [www.cityofsolvang.com](http://www.cityofsolvang.com)

July 23, 2025

Lonnie Roy  
PO Box 598  
Santa Barbara, CA 93102

*Via Email*

**RE: Notice of Approval, PA 25-034, Amendments to Approved Development Plan LUP 22-021 for 1704 Mission Drive (APN 139-240-033)**

Dear Mr. Roy:

Your application to amend an approved Development Plan (LUP 22-021) for construction of nine (9) unit boutique hotel located at 1704 Mission Drive (APN 139-240-033) has been reviewed by the Community Development Director and the reviewed by the Design Review Committee at its July 17, 2025 meeting. The proposed amendment included revisions to cottage units 2-9 facades and colors, as well as the proposed meeting room (chapel). Based on the review of the provided material, the Solvang General Plan in effect at the time of entitlement approval, Solvang Municipal Code, and adopted design guidelines, the Community Development Director has made the following determinations and modifications to the approved Development Plan:

### *Unit 2*

Proposed façade modifications are approved with the inclusion of the following:

- Color shall be modified to a dark hue red that match existing bricks that were added to the facades. Proposed colors shall be Carley Rose, Cajun Red, or dark red hue color proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.
- Brick façade shall be modified and utilized along the west elevation. Any remaining stucco shall be approved by the Community Development Director prior to issuance of final occupancy.
- Half-logs on under the gable area shall be removed or covered with stucco, or similar materials to be approved by the Community Development Director, as shown in Attachment A.
- Removal of half-timbers as shown in Attachment A.
- It is recommended that the bricks be sand blasted or utilize another technique to bring the color of the bricks more uniform.

### *Unit 3*

Proposed modifications are approved with the inclusion of the following modifications:

- Existing color should be glazed include a patina to lighten. This should be completed to the satisfaction of the Community Development Director prior to issuance of final occupancy.

### *Unit 4*

Proposed modifications are approved with the inclusion of the following modifications:

- Removal of half-timbers at the top of the primary entry door, as shown in Attachment A.
- Color shall be modified to a yellow hue, either Lemon Twist, Goldfinch, or yellow hue color proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.

*Unit 5*

Proposed modifications are approved with the inclusion of the following modifications:

- Reduce the number of half timbers on the primary entry elevation to the satisfaction of the Community Development Director prior to the issuance of final occupancy.

*Unit 6*

Proposed modifications are approved with the inclusion of the following modifications:

- Half-logs on shall be removed or covered with stucco, or similar techniques to be approved by the Community Development Director, as shown in Attachment A.
- Color shall be modified to a lighter red hue/clay color either Chaise Mauve, smoky salmon, or , other hue color proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.

*Unit 7*

Proposed modifications are approved with the inclusion of the following modifications:

- Color should be modified to match the proposed darker green color through techniques proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.

*Unit 8*

Proposed modifications are approved as proposed.

*Unit 9*

Proposed modifications are approved with the inclusion of the following modifications:

- Half-timbers with curvatures along multiple facades shall be removed and patterns reduced as shown in Attachment A to the satisfaction of the Community Development Director prior to the issuance of final occupancy.

*Chappel*

Proposed modifications are approved with the inclusion of the following modifications:

- Color banding of red and white shall be removed from the roof. Roof shall consist of all grey/black slate.
- The use of strong shall continue on the west/south elevations to the extent feasible as approved by the Community Development Director.
- Existing color, white/cream shall remain as painted.

*Windmill*

Proposed modifications are approved with the inclusion of the following modifications:

- Color of proposed exterior shall be reviewed by the Community Development Director with input from the Design Review Committee prior to issuance of final occupancy.

Based on the review of the submitted materials, the Community Development director finds the following for consistency with condition PLN-8 of Planning Commission Resolution 23-14 and Solvang Municipal Code Section 11-16-13:

- The proposed amendments, with modifications recommended by the Community Development Director, does not modify the basis of findings for the approved categorical exemption of the purposes of the California Environmental Quality Act (CEQA);

- The proposed amendments, with modifications recommended by the Community Development Director, does not change or modify a condition of approval for the development;
- The proposed amendment, with modifications recommended by the Community Development Director, does not constitute a specific consideration by the Review Authority; and
- Does not involve expansion of the proposed use more than 10% and complies with applicable life and safety codes.

The proposed modifications are approved by the Community Development Director consistent with condition PLN-8 of Planning Commission Resolution 23-14 on July 23, 2025, as shown in Attachment A of this letter.

Consistent with Solvang Municipal Code (SMC) Section 11-17-3.B, decisions of the Planning Manager/Director are final unless an appeal of this decision is received within ten calendar (10) days (on or before **August 2, 2025**). To appeal this decision, an planning application shall be filed, along with a letter or email detailing the reasons for the appeal and a fee of \$1,500 consistent with the adopted fee schedule. If you have any questions regarding this approval, please feel free to contact me at (805) 465-9236 or via email at [rcastillo@cityofsolvang.com](mailto:rcastillo@cityofsolvang.com). City staff and myself look forward to completion of this critical project within the City.

Sincerely,



Rafael Castillo, AICP  
Community Development Director

Attachment A – Amended Project Conditions



## **ON DESIGN, ARCHITECTURE & PLANNING**

Mailing Address: P.O. Box 598, Santa Barbara, CA 93102

PH: (805) 896-7896

Email: [ondesignstaff@architects-ca.com](mailto:ondesignstaff@architects-ca.com)

July 30, 2025

Rafael Castillo  
Community Development Director  
City of Solvang  
411 Second Street  
Solvang, CA 93463

**RE: 1704 Mission Drive, PA 25-034 - Appeal**

Dear Mr. Castillo,

Thank you to the Design Review Committee and your review of the proposed amendment to the approved Development Plan (LUP 22-021) at 1704 Mission Drive (APN 139-240-033). After careful review of the determinations and modifications to the approved Development Plan outlined in the letter dated July 23, 2025, the Developer would be appealing the decision.

As noted at the Design Review Hearing of July 17, 2025, the proposed modifications to the approved Development Plan are subjective in nature. The Developer and the City share the same goal of developing the subject site with a project that the community can be proud of; however, there are differing opinions as to how to achieve this goal. The Developer has a distinctive vision for the cottages, where each one was developed separately by different owners. Thus, the materials and aesthetic design of each cottage are variable. The design intent is that the site was developed organically, over time. The Developer believes that City determinations and modifications to the project are pushing the cottages to be more homogeneous and lack whimsy, which is not the direction the Developer wants to take the project in.

Additionally, there are specific design details that are requested to be removed, such as the colored slate tiles and log siding. The Developer has spent a substantial amount of time in Northern Europe and has pulled detailed examples from those experiences. Thus, the Developer believes that these details and others are regionally accurate and

appropriate for the project. With the aforementioned points in mind, and the subjective nature of the proposed modifications to the approved Development Plan, we are appealing the decision outlined in the July 23 letter.

We appreciate the Design Review Committee and your review of the project thus far, and thank you for being overall complimentary to the project. This appeal is being filed because there is a simple disagreement regarding the project's vision, and we would like the Planning Commission to weigh in on the project's aesthetic direction.

If you have any questions or wish to discuss further, please do not hesitate to contact our offices.

**ON Design Architects, LLC**

A handwritten signature in cursive script that reads "Lonnie Roy".

Lonnie Roy  
Project Planner  
Email: lroy@architects-ca.com  
Phone: (805) 896-7896



ON DESIGN, LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22451

ON design LLC  
P.O. BOX 598 • Santa Barbara • California • 93102

1704 MISSION HOTEL  
1704 Mission Drive  
Solvang, CA 93463  
TITLE SHEET



Project Manager  
KN  
Drawn By  
Scale  
VARIES  
Print Date

T-1.1

# HOTEL

## 1704 MISSION DRIVE

### SOLVANG, CA 93463

#### CONTACT INFORMATION

OWNER:	ARCHDIOCESE OF LOS ANGELES 1780 MISSION DRIVE SOLVANG, CA 93463 PHONE: (805) 688-4815 EMAIL: brbarbato@yahoo.com
LESSEE / TENANT:	EDWARD ST GEORGE 831 CLIFF DR, STE 100 SANTA BARBARA, CA 93109 PHONE: (805) 456-5910
ARCHITECT:	ON DESIGN ARCHITECTS P.O. BOX 598 SANTA BARBARA, CA 93102 ATT: KEITH NOLAN, AIA #C-22451 PHONE: (805) 896-8374 EMAIL: knolan@architects-ca.com
AGENT:	ON DESIGN ARCHITECTS P.O. BOX 598 SANTA BARBARA, CA 93102 ATT: LONNIE ROY PHONE: (805) 896-7896 EMAIL: lroy@architects-ca.com
LANDSCAPE ARCHITECT:	EARTHFORM DESIGN 1227 DE LA VINA ST SANTA BARBARA, CA 93101 ATT: SAM MAPHIS PHONE: (805) 963-2006 EMAIL: sam@earthform.com
GEOTECHNICAL ENGINEER:	BEACON GEOTECHNICAL PO BOX 4814 PASO ROBLES, CA 93447 PHONE: (805) 239-9457 EMAIL: beacongeotechnical@gmail.com
CIVIL ENGINEER:	RRM DESIGN GROUP 10 E FIGUEROA ST #200 SANTA BARBARA, CA 93101 PHONE: (805) 963-8283 EMAIL: MCHamilton@rrmdesign.com
STRUCTURAL ENGINEER:	ASHLEY & VANCE ENGINEERING 210 E. COTA STREET SANTA BARBARA, CA 93101 ATT: PAUL BELMONT PHONE: (805) 962-9966
ELECTRICAL ENGINEER:	JIMPE 627 OLIVE STREET SANTA BARBARA, CA 93102 ATT: JOHN MALONEY PHONE: (805) 569-9216
TRUSS MANUFACTURER:	TRUSPRO INC. 695 OBISPO STREET GUADALUPE, CA 93434 ATT: MARK HERRING PHONE: (805) 343-2555

#### CODE REQUIREMENT:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2022 CALIFORNIA BUILDING CODE (C.B.C.)  
CALIFORNIA ADMINISTRATIVE CODE (TITLES 24 & 25)  
2022 CALIFORNIA MECHANICAL CODE (2022 C.M.C.)  
2022 CALIFORNIA PLUMBING CODE (2022 C.P.C.)  
2022 CALIFORNIA ELECTRICAL CODE (2022 C.E.C.)  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
COUNTY ORDINANCES  
FEDERAL OSHA  
COUNTY AIR POLLUTION CONTROL DISTRICT REQUIREMENTS  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA ADMINISTRATIVE CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA REFERENCED STANDARDS CODE

#### PROJECT STATISTICS

HOTEL ROOMS (R-1 OCCUPANCY)			
PROPOSED	NET	GROSS	
UNIT 1 (BLDG A)	358 SF	394 SF	
UNIT 2 (BLDG E)	292 SF	329 SF	
UNIT 3 (BLDG B)	330 SF	372 SF	
UNIT 4 (BLDG D)	366 SF	414 SF	
UNIT 5 (BLDG B)	330 SF	372 SF	
UNIT 6 (BLDG C)	299 SF	340 SF	
UNIT 7 (BLDG B)	330 SF	372 SF	
UNIT 8 (BLDG C)	299 SF	340 SF	
UNIT 9 (BLDG E)	292 SF	329 SF	
<b>SUBTOTAL:</b>	<b>2,896 SF</b>	<b>3,262 SF</b>	

MEETING (B OCCUPANCY)			
PROPOSED	NET	GROSS	
MEETING (BLDG F)	442 SF	509 SF	
<b>SUBTOTAL:</b>	<b>442 SF</b>	<b>509 SF</b>	
<b>TOTAL:</b>	<b>3,338 SF</b>	<b>3,771 SF</b>	

#### OCCUPANT LOAD (MEETING)

336 SF (B OCCUPANCY PER 303.1.1) / 7 SF PER OCCUPANT (ASSEMBLY WITHOUT FIXED SEATS) = 48 OCCUPANTS

#### MINIMUM PLUMBING FIXTURES (MEETING)

OCCUPANT LOAD PER CPC TABLE 4-1 = ASSEMBLY - CONFERENCE 30 SF  
336 SF / 30SF = 12 OCCUPANTS  
REQUIRED FIXTURES PER CPC TABLE 422.1 FOR B OCCUPANCY: 1 MALE & FEMALE WATER CLOSET, 1 MALE & FEMALE LAVATORY, 1 URINAL AND 1 DRINKING FOUNTAIN

PER CPC 422.2 IN BUSINESS OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LESS ONE TOILET FACILITY DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME SHALL BE PERMITTED FOR USE BY BOTH SEXES.

PER CPC 415.2 DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 30 OR LESS.

PROVIDED: 1 WATER CLOSET, 1 LAVATORY

#### ACCESSIBILITY

THIS PROJECT IS DESIGNED TO COMPLY WITH CBC 11B, TRANSIENT LODGING. ACCESSIBLE PARKING IS ACCOMMODATED AT 1693 MISSION.

#### DRAINAGE FIXTURE UNIT VALUES

PLUMBING FIXTURE TYPE	DFU	NUMBER OF FIXTURES	TOTAL DFU
BATH / SHOWER	2.0	9	18.0
LAVATORY	1.0	10	10.0
BAR SINK	1.0	1	1.0
WATER CLOSET	3.0	10	30.0
<b>TOTAL BUILDING DFU</b>			<b>59.0</b>

#### DEVELOPMENT STANDARDS

ALLOWED BUILDING HEIGHT	
MAXIMUM BUILDING HEIGHT	35 FT 50 FT FOR ARCHITECTURAL FEATURES

REQUIRED SETBACKS	
FRONT	42 FT FROM MISSION DRIVE CENTERLINE 30 FT FROM STREET CENTERLINE
SIDE	0 FT
REAR	10% LOT DEPTH, NOT TO EXCEED 10 FT

ALLOWABLE AREA			
R-1 OCCUPANCY (S13R)	ALLOWED	7,000 SF	
	ACTUAL	2,896 SF	
B OCCUPANCY (S13R)	ALLOWED	7,000 SF	
	ACTUAL	442 SF	

NOTES: 1. BUILDINGS ON SITE ARE CONSIDERED AS PORTIONS OF ONE BUILDING.  
2. NO AREA INCREASES ARE CONSIDERED.

#### INTERIOR FINISHES

BASED UPON B & R-1 OCCUPANCIES. INTERIOR FINISHES SHALL BE IN COMPLIANCE WITH CBC TABLE 803.13, WHICH REQUIRE A MINIMUM CLASS "C", IN CONFORMANCE WITH NFPA 286.

#### FIRE SPRINKLERS

THIS PROJECT IS DESIGNED TO COMPLY WITH NFPA 13-R. SPRINKLERS & ALARM SYSTEM UNDER A SEPARATE PERMIT.

#### PARKING

REQUIRED:	# OF SPACES
HOTEL GUEST (1 SPACE PER ROOM)	9
HOTEL EMPLOYEE (1 SPACE PER 5 EMPLOYEES)	1
<b>TOTAL REQUIRED</b>	<b>10</b>

PROVIDED:	# OF SPACES
ON SITE PARKING	0
HOTEL GUEST (1693 MISSION DRIVE)	9
HOTEL EMPLOYEE (1693 MISSION DRIVE)	1
<b>TOTAL PROVIDED</b>	<b>10</b>

NOTE  
1. THIS HOTEL WILL BE MANAGED BY HOTEL STAFF AT THE PROPOSED HOTEL AT 1693 MISSION DRIVE.

#### PROJECT DESCRIPTION

AS-BUILT REVISIONS TO THE APPROVED DEVELOPMENT PLAN, PLANNING COMMISSION RESOLUTION NO 23-14

#### PROJECT INFORMATION

APN	139-240-033
PROJECT ADDRESS:	1704 MISSION DRIVE SOLVANG, CA 93463
ZONE:	TRC
GENERAL PLAN:	TOURIST COMMERCIAL
GROSS LOT SIZE:	16,309 SQ FT / 0.37 ACRES
LOT SLOPE:	1%
CONST TYPE:	V-B
OCCUPANCY:	R-1, B
FLOOD ZONE:	X
GRADING CY:	60 CY CUT / 260 CY FILL

#### SITE COVERAGE

EXISTING	
BUILDING	0 SF / 0.0%
HARDSCAPE	0 SF / 0.0%
LANDSCAPE	16,309 SF / 100%
<b>TOTAL</b>	<b>16,309 SF / 100%</b>

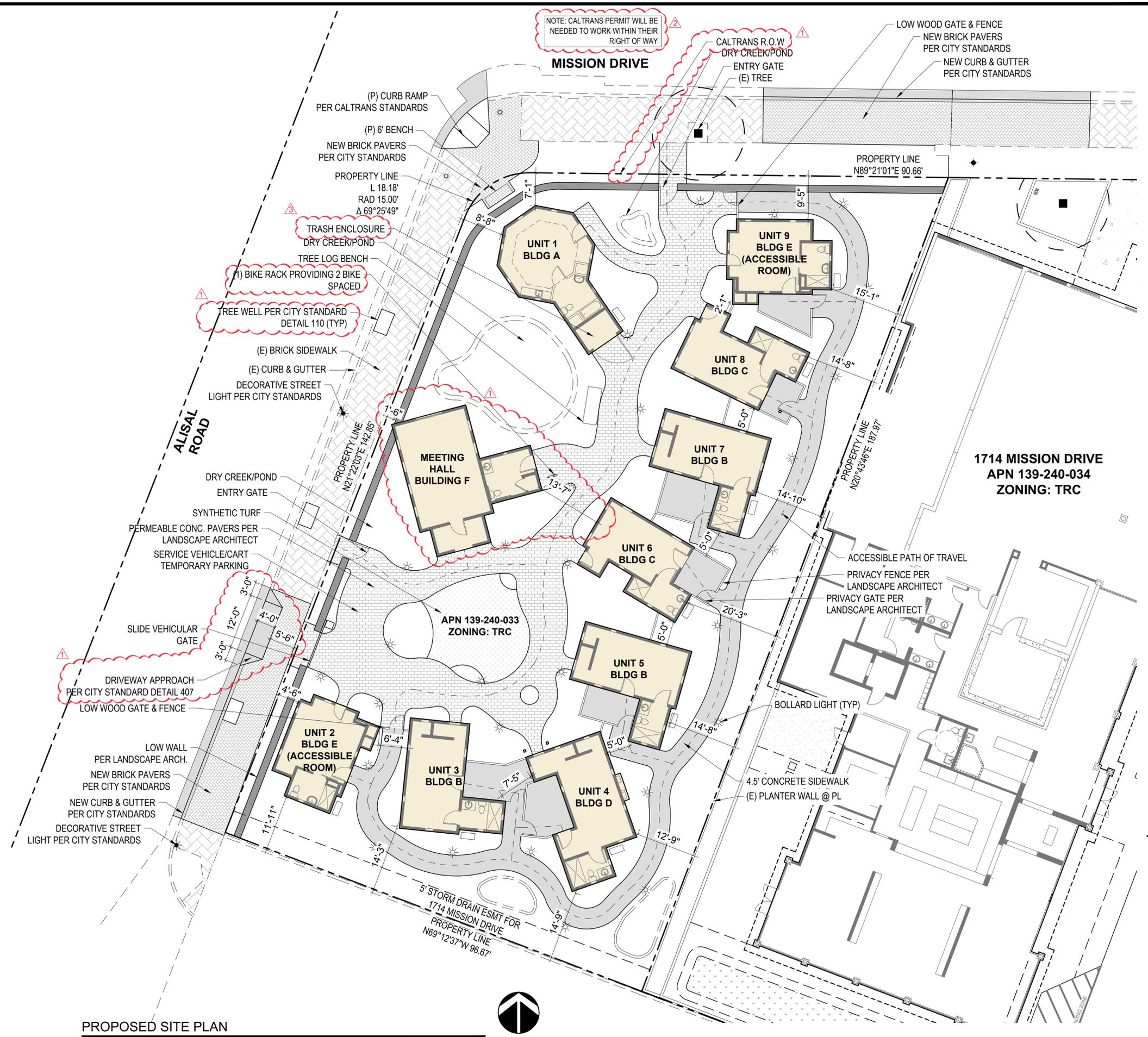
  

PROPOSED	
BUILDING	3,997 SF / 24.5%
HARDSCAPE	2,388 SF / 14.6%
PERMEABLE PAVERS	2,182 SF / 13.4%
LANDSCAPE	7,742 SF / 47.5%
<b>TOTAL</b>	<b>16,309 SF / 100%</b>

#### VICINITY MAP



© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



**ON DESIGN, LLC**  
 Architecture  
 Planning  
 Interior Design

**Keith Nolan**  
 C-22451

**ON design LLC.**  
 • P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**  
 1704 Mission Drive  
 Solvang, CA 93463  
**PRELIMINARY SITE PLAN**



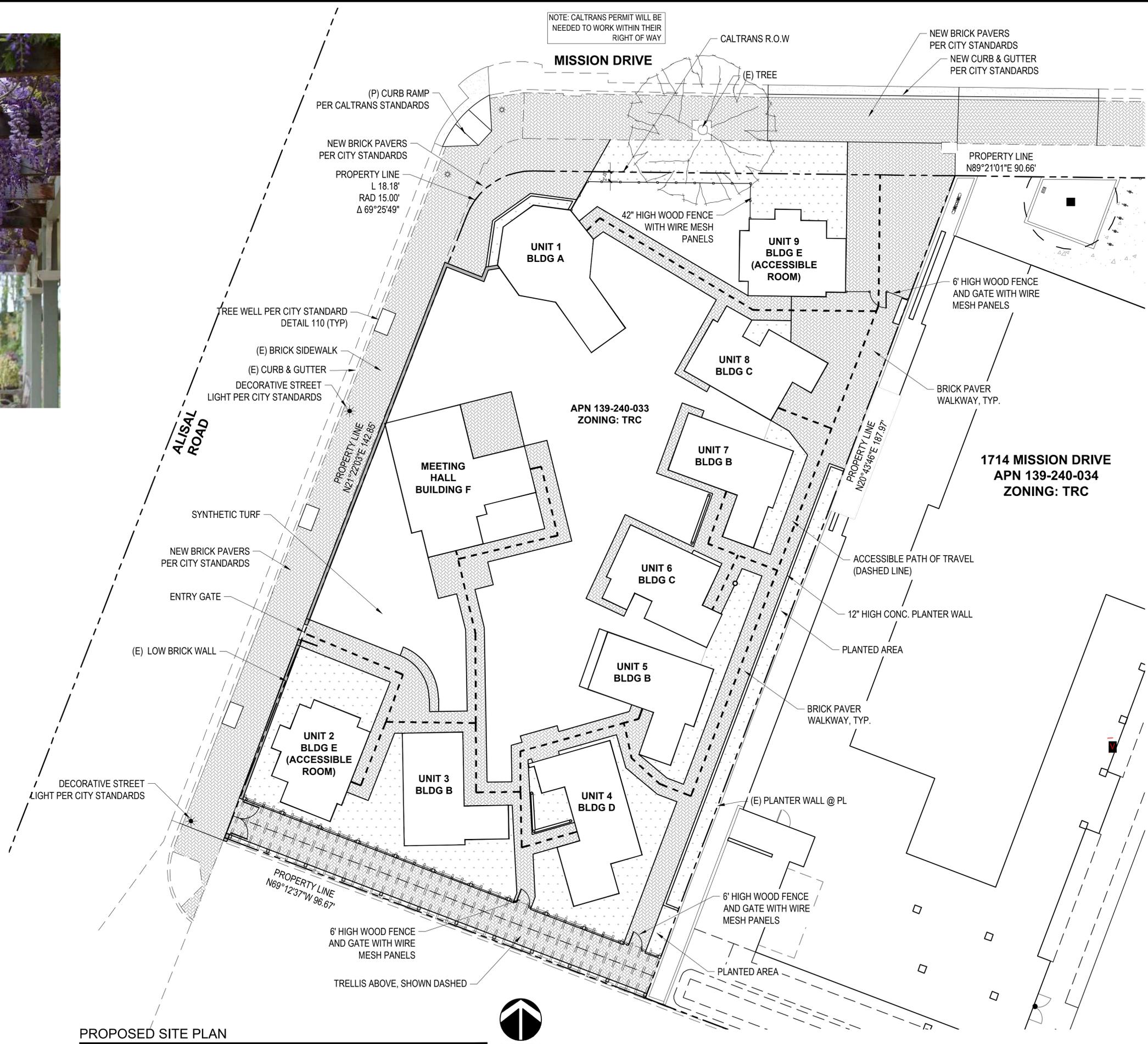
Revisions
△ PLAN CHECK #1 08-19-24
△ PLAN CHECK #2 08-19-24
△ PLAN CHECK #3 08-19-24

Project Manager  
**KN**  
 Drawn By  
 Scale  
**VARIES**  
 Print Date

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



TRELLIS CONCEPT



PROPOSED SITE PLAN

SCALE: 1" = 10'



NOTE: CALTRANS PERMIT WILL BE NEEDED TO WORK WITHIN THEIR RIGHT OF WAY



ON DESIGN, LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22451

• ON design LLC •  
• P.O. BOX 598 • Santa Barbara • California • 93102 •

1704 MISSION HOTEL  
1704 Mission Drive  
Solvang, CA 93463  
SITE PLAN



Revisions

1	PLAN CHECK #1	08-19-24
2	PLAN CHECK #2	08-19-24
3	PLAN CHECK #3	08-19-24
4	PLAN CHECK #4	11-04-24

Project Manager  
KN  
Drawn By  
Scale  
VARIES  
Print Date

A-1.1

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



COTTAGE 2E AS-BUILT NORTH ELEVATION



COTTAGE 2E AS-BUILT EAST ELEVATION



COTTAGE 2E AS-BUILT NORTH ELEVATION



COTTAGE 2E AS-BUILT HALF TIMBER DETAIL



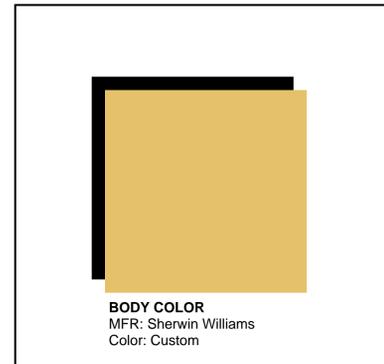
COTTAGE 2E AS-BUILT EAST ELEVATION



COTTAGE 2E AS-BUILT SOUTH ELEVATION



COTTAGE 2E AS-BUILT WEST ELEVATION



COLORS & MATERIALS

BODY COLOR  
MFR: Sherwin Williams  
Color: Custom



COTTAGE 2E APPROVED NORTH ELEVATION



COTTAGE 2E AS-BUILT EAST ELEVATION



COTTAGE 2E APPROVED WEST ELEVATION



COTTAGE 2E APPROVED SOUTH ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

ON design LLC

• P.O. BOX 598 • Santa Barbara • California • 93102 •

1704 MISSION HOTEL

1704 Mission Drive  
Solvang, CA 93463

EXTERIOR PHOTOS



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:45 PM

A-6.1

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



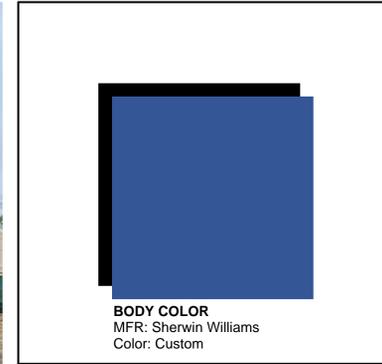
COTTAGE 3B AS-BUILT NORTH ELEVATION



COTTAGE 3B AS-BUILT EAST ELEVATION



COTTAGE 3B AS-BUILT EAST ELEVATION



COLORS & MATERIALS



COTTAGE 3B AS-BUILT WEST ELEVATION



COTTAGE 3B AS-BUILT SOUTH ELEVATION



COTTAGE 3B AS-BUILT EAVE  
BEAM TAIL DETAIL



COTTAGE 3B AS-BUILT WINDOW &  
HALF TIMBER DETAIL



COTTAGE 3B APPROVED NORTH ELEVATION



COTTAGE 3B APPROVED EAST ELEVATION



COTTAGE 3B APPROVED WEST ELEVATION



COTTAGE 3B APPROVED SOUTH ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON design LLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:47 PM

A-6.2

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



COTTAGE 4D AS-BUILT NORTH WEST ELEVATION



COTTAGE 4D AS-BUILT SOUTH WEST ELEVATION



COTTAGE 4D AS-BUILT SOUTH EAST ELEVATION



COTTAGE 4D AS-BUILT EAVE  
BEAM TAIL DETAIL



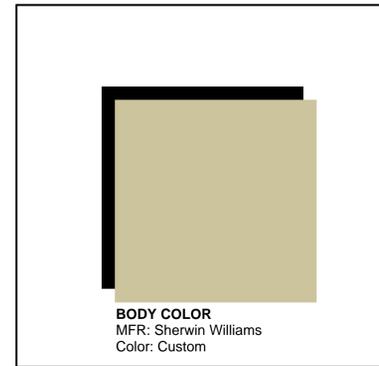
COTTAGE 4D AS-BUILT SOUTH WEST ELEVATION



COTTAGE 4D AS-BUILT ENTRY DETAIL



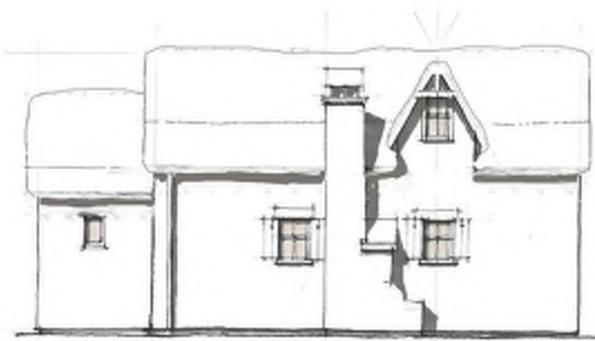
COTTAGE 4D AS-BUILT WINDOW  
DETAIL



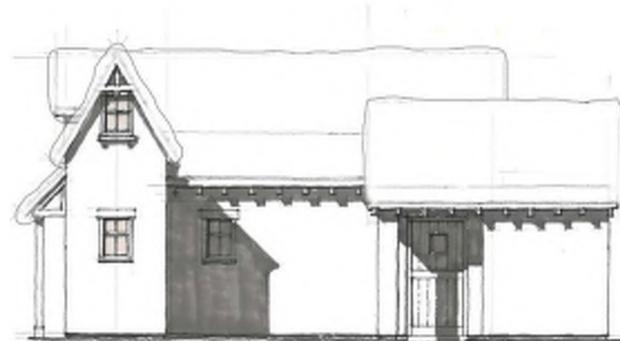
COLORS & MATERIALS



COTTAGE 4D APPROVED NORTH WEST ELEVATION



COTTAGE 4D APPROVED NORTH EAST ELEVATION



COTTAGE 4D APPROVED SOUTH WEST ELEVATION



COTTAGE 4D APPROVED SOUTH EAST ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON design LLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:49 PM

**A-6.3**

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



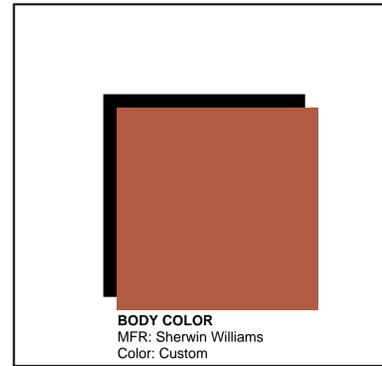
COTTAGE 5B AS-BUILT WEST ELEVATION



COTTAGE 5B AS-BUILT NORTH ELEVATION



COTTAGE 5B 9 - EAST ELEVATION



BODY COLOR  
MFR: Sherwin Williams  
Color: Custom

COLORS & MATERIALS



COTTAGE 5B AS-BUILT SOUTH ELEVATION



COTTAGE 5B AS-BUILT SOUTH ELEVATION



COTTAGE 5B AS-BUILT EAVE & ROOF DETAIL



COTTAGE 5B APPROVED WEST ELEVATION



COTTAGE 5B APPROVED EAST ELEVATION



COTTAGE 5B APPROVED SOUTH ELEVATION



COTTAGE 5B APPROVED NORTH ELEVATION



ON designLLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON designLLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:51 PM

A-6.4

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



COTTAGE 6C AS-BUILT WEST ELEVATION



COTTAGE 6C AS-BUILT SOUTH & WEST ELEVATION



COTTAGE 6C AS-BUILT SOUTH ELEVATION



COTTAGE 6C AS-BUILT EAST ELEVATION



COTTAGE 6C AS-BUILT NORTH & WEST ELEVATION



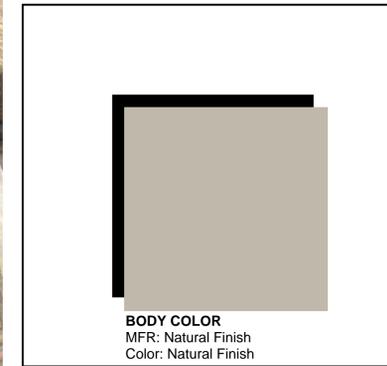
COTTAGE 6C AS-BUILT EAVE  
BEAM TAIL DETAIL



COTTAGE 6C AS-BUILT FRONT  
ELEVATION WINDOW DETAIL



COTTAGE 6C AS-BUILT NORTH ELEVATION WALL & WINDOW  
DETAIL



**BODY COLOR**  
MFR: Natural Finish  
Color: Natural Finish

COLORS & MATERIALS



COTTAGE 6C APPROVED WEST ELEVATION



COTTAGE 6C APPROVED EAST ELEVATION



COTTAGE 6C APPROVED NORTH ELEVATION



COTTAGE 6C APPROVED SOUTH ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON design LLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:54 PM

**A-6.5**

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



COTTAGE 7B AS-BUILT WEST ELEVATION



COTTAGE 7B AS-BUILT NORTH & WEST ELEVATION



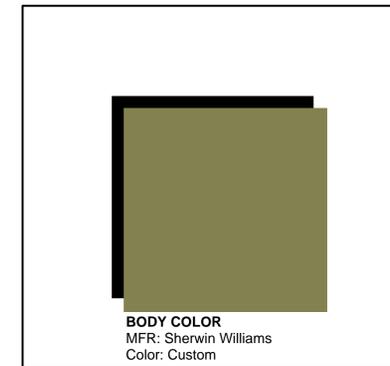
COTTAGE 7B AS-BUILT SOUTH ELEVATION



COTTAGE 7B AS-BUILT WINDOW DETAIL



COTTAGE 7B AS BUILD EAVE BEAM TAIL DETAIL



**BODY COLOR**  
MFR: Sherwin Williams  
Color: Custom

COLORS & MATERIALS



COTTAGE 7B APPROVED WEST ELEVATION



COTTAGE 7B APPROVED EAST ELEVATION



COTTAGE 7B APPROVED SOUTH ELEVATION



COTTAGE 7B APPROVED NORTH ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON design LLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:55 PM

**A-6.6**

© Copyright 2024, ON Design, LLC. All rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



COTTAGE 8C AS-BUILT WEST ELEVATION



COTTAGE 8C AS-BUILT SOUTH ELEVATION



COTTAGE 8C AS-BUILT NORTH ELEVATION



COTTAGE 8C AS-BUILT EAST ELEVATION



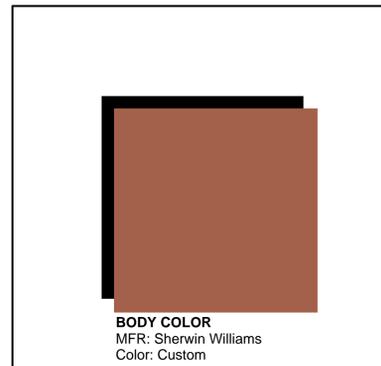
COTTAGE 8C AS-BUILT WINDOW DETAIL



COTTAGE 8C AS-BUILT EAVE & ROOF DETAIL



COTTAGE 8C AS-BUILT NORTH ELEVATION



COLORS & MATERIALS

BODY COLOR  
MFR: Sherwin Williams  
Color: Custom



COTTAGE 8C APPROVED EAST ELEVATION



COTTAGE 8C APPROVED WEST ELEVATION



COTTAGE 8C APPROVED SOUTH ELEVATION



COTTAGE 8C APPROVED NORTH ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON design LLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:57 PM

**A-6.7**

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



COTTAGE 9 AS-BUILT WEST & NORTH ELEVATION



COTTAGE 9E AS-BUILT WEST ELEVATION



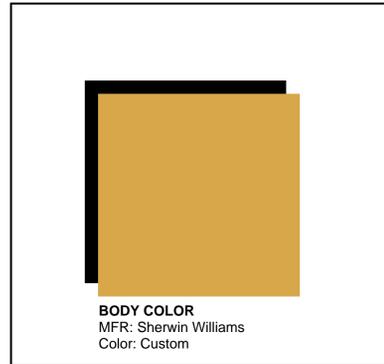
COTTAGE 9E AS-BUILT SOUTH ELEVATION



COTTAGE 9E AS-BUILT NORTH ELEVATION



COTTAGE 9E AS-BUILT EAST ELEVATION



COLORS & MATERIALS



COTTAGE 9E APPROVED NORTH ELEVATION



COTTAGE 9E APPROVED EAST ELEVATION



COTTAGE 9E APPROVED SOUTH ELEVATION



COTTAGE 9E APPROVED WEST ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON design LLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 4:59:58 PM

**A-6.8**

© Copyright 2024, ON Design, LLC. All rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.



CHAPEL AS-BUILT WEST ELEVATION



CHAPEL AS-BUILT EAST ELEVATION



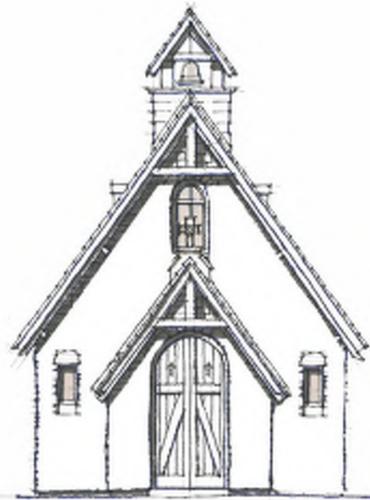
CHAPEL AS-BUILT SOUTH ELEVATION



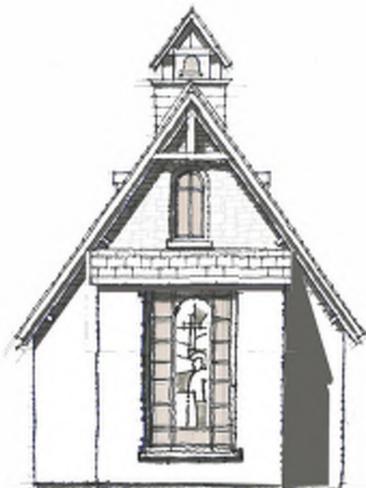
CHAPEL AS-BUILT NORTH ELEVATION



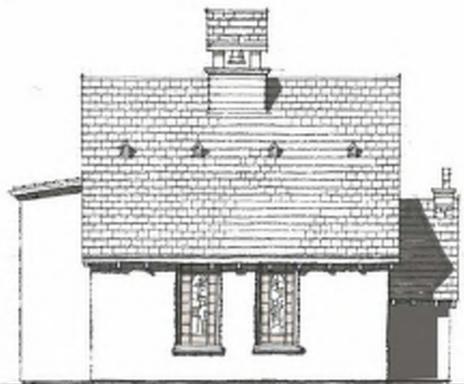
COLORS & MATERIALS



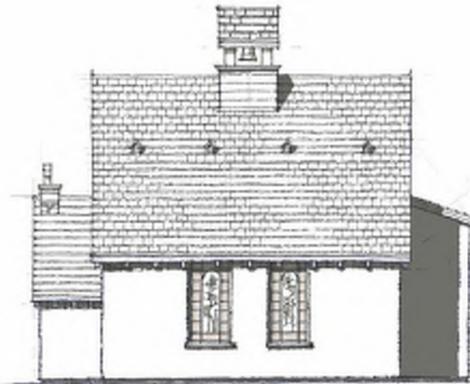
CHAPEL APPROVED SOUTH ELEVATION



CHAPEL APPROVED NORTH ELEVATION



CHAPEL APPROVED EAST ELEVATION



CHAPEL APPROVED WEST ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

**ON design LLC**

• P.O. BOX 598 • Santa Barbara • California • 93102 •

**1704 MISSION HOTEL**

1704 Mission Drive  
Solvang, CA 93463

**EXTERIOR PHOTOS**



Revision Schedule

Project Manager  
Designer

Scale

PrintDate  
6/13/2025 5:00:00 PM

**A-6.9**



WINDMILL AS-BUILT NORTHWEST ELEVATION



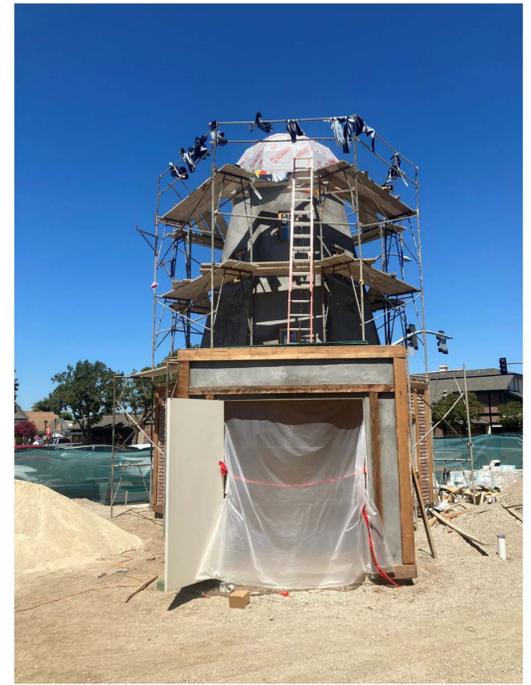
WINDMILL AS-BUILT NORTHEAST ELEVATION



WINDMILL AS-BUILT SOUTH ELEVATION



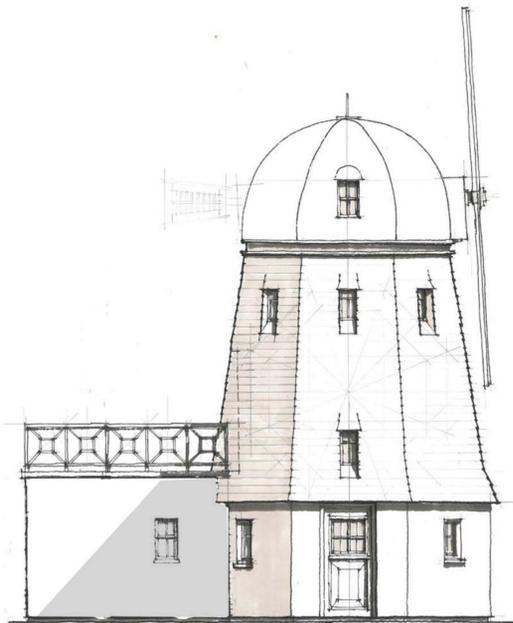
WINDMILL AS-BUILT WEST ELEVATION



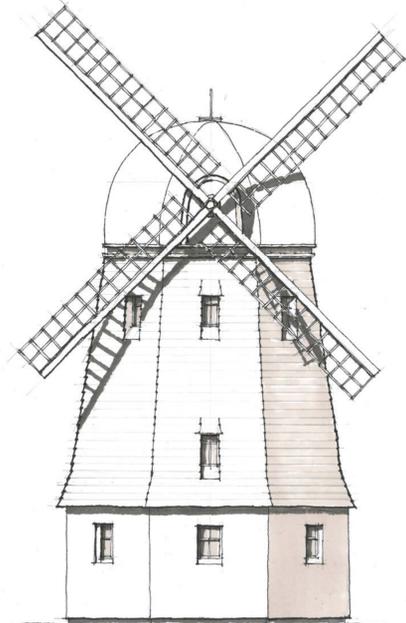
WINDMILL AS-BUILT SOUTHEAST ELEVATION



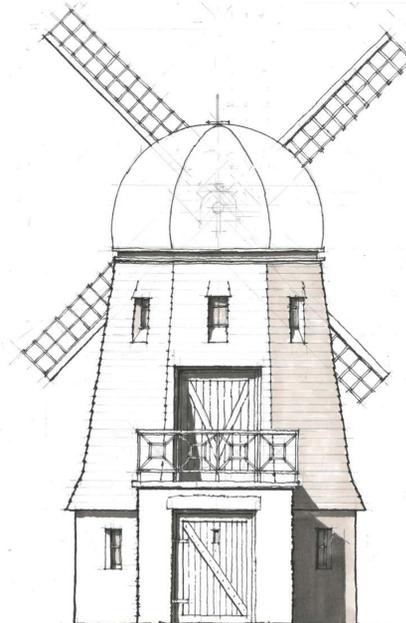
COLORS & MATERIALS



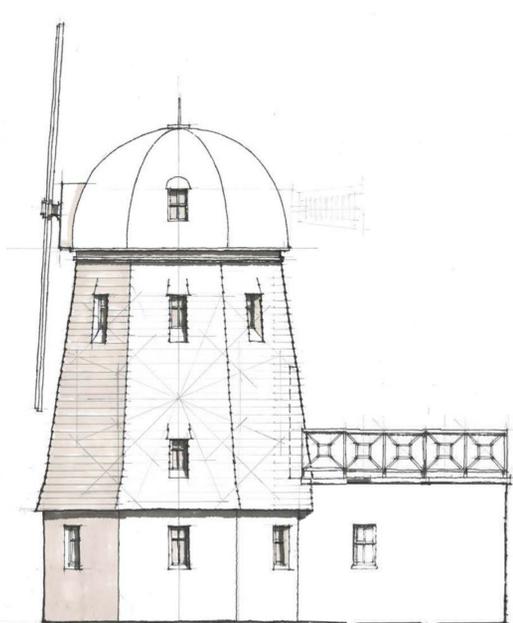
WINDMILL APPROVED NORTHEAST ELEVATION



WINDMILL APPROVED NORTHWEST ELEVATION



WINDMILL APPROVED SOUTHEAST ELEVATION



WINDMILL APPROVED SOUTHWEST ELEVATION



ON DESIGN LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22541

ON design LLC

P.O. BOX 598 • Santa Barbara • California • 93102

1704 MISSION HOTEL

1704 Mission Drive  
Solvang, CA 93463

EXTERIOR PHOTOS



Revision Schedule

Project Manager  
Designer

Scale 3/16" = 1'-0"

PrintDate  
8/20/2025 2:21:18 PM

A-6.10

**LILLE SODE PLANT LIST**

PLANT QUANTITIES ARE FOR CONTRACTOR CONVENIENCE. PLAN SHALL PREVAIL.

SYM	SIZE	QTY	WUOLCS PLANT FACTOR	BOTANICAL NAME	COMMON NAME	NOTES
<b>TREES</b>						
ARB MAR	24" Box	4	L	ARBUTUS MARINA	NON	STANDARD, DOUBLE STAKE
LAG IND	24" Box	12	L	LAGERSTROEMIA INDICA	CRANE WRTLE	STANDARD, DOUBLE STAKE
WAG LIT	24" Box	7	W	MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	DOUBLE STAKE
OLE EUR	ON SITE	4	L	OLEA EUROPA	EUROPEAN OLIVE	TRANSPLANT AS SHOWN
PIS CHI	24" Box	2	L	PISTACIA CHINENSIS	CHINESE PISTACHE	DOUBLE STAKE
PYR KAW	24" Box	5	W	PYRUS KAWAKAWII	EVERGREEN PEAR	DOUBLE STAKE
QUE TOM	36" Box	1	L	QUERCUS TOMENTELLA	ISLAND OAK	STANDARD, DOUBLE STAKE
<b>SHRUBS AND HERBACEOUS</b>						
ACH MOO	1/2	26	L	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	
AGA QUE	1/2	82	L	AGAPANTHUS 'QUEEN ANN'	LILY OF THE LILIE	
CEN RUB	1/2	35	L	CENTRANTHUS 'RUBER'	RED VALERIAN	
COT COG	5/8	3	L	COTINUS COBEGYZIA	SMOKE BUSH	
DIE VEG	1/2	17	L	DIETES VEGETA	FORTNIGHT LILY	
GUA SIS	1/2	5	L	GUADA ST. SYD OUI PINK	PINK GUARA	
HEM HYB	1/2	122	L	HEMEROCALLIS HYBRIDS	EVERGREEN DAY LILIES	
HEU MAX	1/2	19	L	HEUCHERA MAXIMA	ALUM ROOT	
HYD QUE	5/8	5	W	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	
IRE DOU	1/2	8	L	IRENE DOUGLASSIANA	DOUGLASS TREES	
IRE VAR	1/2	8	W	IRENE VARIETIES		MIXED COLORS
LAV OTT	5/8	61	L	LAVENDULA 'OTTO QUASTI'	SPANISH LAVENDER	
LAV HED	1/2	22	L	LAVENDULA 'HEDCOTE'	HEDCOTE LAVENDER	
LIG TEX	5/8	92	L	LIGULSTRUM 'TEXANUM'	TEXAS PRIVET	
LOR PUR	5/8	8	L	LOROPETALUM CHINESE-PURPLE	CHINESE FRINGE FLOWER	
PEN BOP	1/2	336	L	PENSTEMON 'MANGAKITA BOP'	MANGAKITA BOP PENSTEMON	
PHL FRU	5/8	6	L	PHLOXIS FRUTICOSA	JERUSALEM SAGE	
PIT CRE	1/2	11	L	PITTOSPORUM T. CREAM DE MINT	DWARF VARIETATED TOBIRA	
PIT VAR	5/8	5	L	PITTOSPORUM T. 'VAREGATA'	VAREGATED TOBIRA	
POL DAL	5/8	4	L	POLYGALA DALMANIANA	SWEET PEA SHRUB	
RHA MEN	5/8	32	L	RHAPHIOLEPSIS 'MINOR'	DWARF YEDDA	
ROS ICE	5/8	30	L	ROSA 'ICEBERG'	ICEBERG ROSE	
ROS PEN	5/8	7	L	ROSA SIMPLICITY PINK	PINK SIMPLICITY ROSE	
ROS TUS	5/8	9	L	ROSARIUS 'TUSCAN BLUE'	TUSCAN BLUE ROSARY	
SAL MID	5/8	27	L	SALVIA L. 'MIDNIGHT'	MEXICAN BUSH SAGE - MIDNIGHT	
SAL WY 5	1/2	21	L	SALVIA 'MYSTIC'	MYSTIC SAGE	
TEU CHA	1/2	19	L	TEUCLIUM CHAMAEDRYS	GERMANDER	
VER BON	1/2	3	L	VERBENA BONARIENSIS	NON	
VIB SPR	5/8	6	W	VIBURNUM T. 'SPRING ROUQUET'		
WES MAUN	1/2	10	L	WESTRINGIA 'MUNDI'	DWARF AUSTRALIAN ROSEMARY	
<b>GROUND COVERS/FILL IN</b>						
ACH HYB	4"		L	ACHILLEA HYBRIDS	YARROW	
CER TOM	1/2		L	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	
ERI KAR	1/2	142	L	ERIGERON KARWINSKIANUS	SANTA BARBARA DAILY	
GER BIO	1/2	63	L	GERANIUM BICKFORDIA		
NEP FAA	1/2	64	L	NEPETA FAASENNIT	CATALPIT	
STA LAN	4"	96	L	STACHYS LANATA	LAMB'S EARS	
<b>GRASSES AND SEDGES</b>						
CAR DIV	1/2	21	L	CAREX DIVULSA	BENKLEY SEDGE	
LOM PLA	1/2	12	L	LOMANDRA 'PLATINUM BEAUTY'	PLATINUM BEAUTY RUSH	
PEN ORI	1/2	56	L	PENNESETUM ORIENTALIS	ORIENTAL FOUNTAIN GRASS	
PEN RUB	5/8	11	L	PENNESETUM 'RUBRUM'	RED FOUNTAIN GRASS	
<b>VINES AND SPALERS</b>						
CLY CAL	5/8	5	L	CLYTOSTOMA CALLISTEGOIDES	LAVENDER TRUMPET VINE	STAKED
GRE ESP	1/2	4	L	GREVIA CAFFERA ESPALTER	LAVENDER STAR FLOWER ESPALTER	ESPALTER
JAS POL	5/8	4	L	JASMINUM POLYANTHUM	PINK JASMINE	STAKED
ROS CLI	5/8	4	L	ROSA CLIMBING	CECIL BRUNNER CLIMBING ROSE	STAKED
SOL JAS	5/8	4	W	SOLANUM JASMINOIDES	POTATO VINE	STAKED
TRA JAS	5/8	4	L	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	STAKED
PAB TRI	5/8	2	L	PARTHENOCLISSUS TROUSSEI DATA	ROSTON VINE	STAKED
BUF CLI	5/8	5	W	ROSA CLIMBING - BUFF/APRICOT	BUFF/APRICOT CLIMBING ROSE	STAKED
ROS SAL	5/8	3	W	ROSA CLIMBING - 'SALLY HOMES'	SALLY HOMES CLIMBING ROSE	STAKED
WHI CLI	5/8	3	L	ROSA CLIMBING 'WHITE ICEBERG'	WHITE ICEBERG CLIMBING ROSE	STAKED

**PLANTING NOTES**

- PLANT LIST IS FOR CONVENIENCE OF CONTRACTOR. PLAN IS TO PREVAIL AND LANDSCAPE ARCHITECT AND OWNER TO MAKE FINAL ADJUSTMENTS AS NECESSARY.
- CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION WITH SCHOOL SUPERINTENDENT & LANDSCAPE ARCHITECT FOR LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR TO BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANTED AREA.
- IRRIGATION TO BE COORDINATED WITH PLANTING PLAN.
- ALL PLANTER AREAS SHALL BE AMENDED WITH 4 CU. YDS. OF FOREST HUMUS MULCH AND 150 LBS. OF GRO-POWER PLUS, PER 1,000 SQ. FT. OF PLANTED AREA. PLANTER MIX TO BE 50% NATIVE MIX SOIL AND 50% PLANTER MIX ABOVE FOR ALL BACK FILL OF NEW PLANTS.
- PLANT MATERIAL MAY BE SUBJECT TO CHANGE AS PER OWNER OR LANDSCAPE ARCHITECTS DISCRETION.
- ANY CLARIFICATION OR QUESTIONS ON PLANS, SPECIFICATIONS AND DETAILS SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK.
- ALL PLANTER AREAS TO BE TOP DRESSED WITH SHREDDED CEDAR/ REDWOOD MULCH AT A DEPTH OF 3".
- ALL PLANT LAYOUT TO BE DONE BY LANDSCAPE ARCHITECT AND APPROVED BY LANDSCAPE ARCHITECT.

I HAVE COMPLIED WITH THE CRITERIA AND APPLIED THEM FOR THE EFFICIENT USE OF WATER AND APPLIED LANDSCAPE DESIGN PLAN.

Signature: *[Handwritten Signature]*

SAM MAPHIS IV  
6/21/24



**PLANTING PLAN**

**PROGRESS SET**

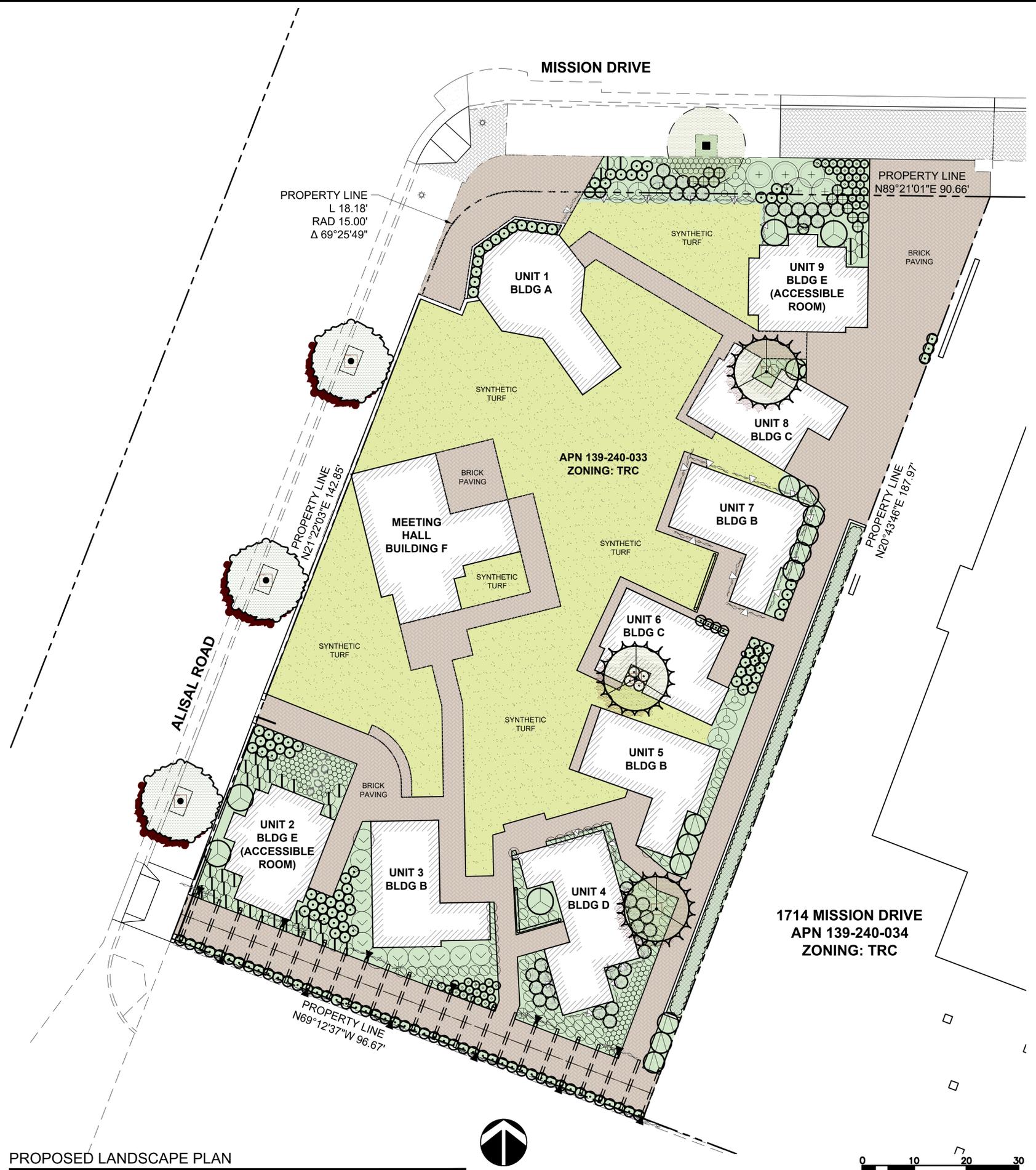


SCALE: 1" = 10'-0"

The landscape architect and his consultants do not warrant or guarantee the accuracy and completeness of the work product herein beyond a reasonable diligence. If any mistakes, omissions or discrepancies are found to exist within the work product, the landscape architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the landscape architect of such conditions shall absolve the landscape architect from any responsibility for the consequences of such discrepancies. Actions without the knowledge and consent of the landscape architect or in contradiction to the landscape architect's work product or recommendations shall become the responsibility not of the landscape architect but of the parties responsible taken such action. This plan and design are the exclusive property of Earthform Design and cannot be used or reproduced without the landscape architect's written consent.

**PLANTING LEGEND:**

SYMBOL	CALLOUT BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
<b>TREES</b>						
	Existing Tree					
	Platanus x acerifolia	London Planetree	24" Box	As Shown	Standard	L
	Lagerstroemia indica	Crape Myrtle	24" Box	As Shown	Standard	L
<b>SHRUBS</b>						
	Lagerstroemia indica 'Monkie'	Petite Pinkie Crape Myrtle	15 Gal.	60" O.C.	-	L
	Strelitzia reginae	Bird of Paradise	5 Gal.	48" O.C.	-	L
	Raphiolepis umbellata 'Minor'	Dwarf Yeddo Hawthorn	5 Gal.	48" O.C.	-	L
	Polygala x dalmasiana	Sweet Pea Shrub	5 Gal.	48" O.C.	-	L
	Pittosporum tobira 'Shima'	Cream De Mint® Dwarf Pittosporum	1 Gal.	30" O.C.	-	L
	Nandina domestica 'Nana'	Dwarf Heavenly Bamboo	1 Gal.	30" O.C.	-	L
	Agapanthus 'Peter Pan'	Dwarf Lily of the Nile	1 Gal.	24" O.C.	-	L
	Hemerocallis spp	Daylily	1 Gal.	24" O.C.	-	L
	Salvia x 'Balsalmisp'	Mystic Spires Blue Salvia	1 Gal.	24" O.C.	-	L
<b>GROUNDCOVER</b>						
	Trachelospermum jasminoides	Star Jasmine	1 Gal.	60" O.C.	-	L
	Carex divulsa	Berkeley Sedge	6" Pot	18" O.C.	-	L
	Achillea spp.	Yarrow	4" Pot	12" O.C.	-	L
<b>VINES</b>						
	Wisteria sinensis	Chinese wisteria	1 Gal.	As Shown	-	L
	Ficus pumila	Creeping Fig	1 Gal.	As Shown	-	L
	Trachelospermum jasminoides	Star Jasmine	1 Gal.	As Shown	-	L
<b>Herbs</b>						
	Herbs per owner					



ON DESIGN, LLC  
Architecture  
Planning  
Interior Design

Keith Nolan  
C-22451

• ON design LLC •  
• P.O. BOX 598 • Santa Barbara • California • 93102 •

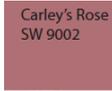
1704 MISSION HOTEL  
1704 Mission Drive  
Solvang, CA 93463  
PRELIMINARY LANDSCAPE PLAN

Revisions	
Project Manager	KN
Drawn By	
Scale	VARIES
Print Date	

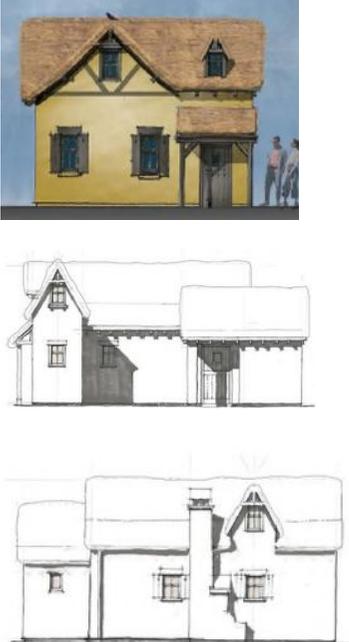
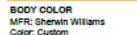
L-1.0

© Copyright 2024, ON Design, LLC, all rights reserved. ON Design, LLC maintains all ownership rights to these documents. Unless a specific written release is issued by the Architect, use of design features outside of this plan set are strictly prohibited & shall be prosecuted to the fullest extent of the law.

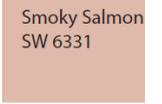
Attachment C – Approved Façade Modifications By Community Development Director

Approved Façade	Proposed Modifications By Applicant	Director Determination
<p style="text-align: center;"><b>Unit 2</b></p>  <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Stone chimney</li> <li>• Thatch roof</li> <li>• Half-timbers.</li> <li>• Proposed Color, "peppery" darker red hue</li> </ul>	 <p style="font-size: small;">BODY COLOR MFR: Sherwin Williams Color: Custom</p> <ul style="list-style-type: none"> <li>• Proposed use of additional brick on west and north elevation</li> <li>• Additional half-timbering on east, west elevation</li> <li>• Use of half "logs" under the gable area.</li> <li>• Proposed custom color of dark yellow hue.</li> <li>• Applicant has applied white paint on the bricks</li> </ul>	<ul style="list-style-type: none"> <li>• Color shall be modified to a dark hue red that match existing bricks that were added to the facades. Proposed colors shall be Carley Rose, Cajun Red, or dark red hue color proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.</li> <li>• Brick façade shall be modified and utilized along the west elevation. Any remaining stucco shall be approved by the Community Development Director prior to issuance of final occupancy.</li> <li>• Half-logs on under the gable area shall be removed or covered with stucco, or similar materials to be approved by the Community Development Director.</li> <li>• Removal of half-timbers as shown in red circle.</li> <li>• It is recommended that the bricks be sand blasted or utilize another technique to bring the color of the bricks more uniform.</li> </ul> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p style="font-size: x-small;">Carley's Rose SW 9002 #ad6f74</p> </div> <div style="text-align: center;">  <p style="font-size: x-small;">Cajun Red SW 0008 #85442a</p> </div> </div>

Approved Façade	Proposed Modifications By Applicant	Director Determination
 <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Stone chimney</li> <li>• Thatch roof</li> <li>• Half-timbers located near the edge of the gable.</li> <li>• Vintage Vessel Green to be utilized as primary color</li> </ul>	<p style="text-align: center;">Unit 3</p>  <ul style="list-style-type: none"> <li>• Relocation of proposed windows and modification to use of full dormer.</li> <li>• Half-timbers located near the bottom half and proportionally throughout the structure.</li> <li>• Blue hue utilized instead of the green.</li> <li>• Use of stone on north elevation</li> <li>• Elimination of stone chimney.</li> </ul>	<ul style="list-style-type: none"> <li>• Existing color should be glazed include a patina to lighten. This should be completed to the satisfaction of the Community Development Director prior to issuance of final occupancy. <i>Proposed color modification by applicant is satisfactory to the Community Development Director</i></li> </ul>

Approved Façade	Proposed Modifications By Applicant	Director Determination
<p style="text-align: center;"><b>Unit 4</b></p>  <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Stone chimney</li> <li>• Thatch roof</li> <li>• Half-timbers located near the edge of the gable.</li> <li>• Vintage Vessel Green to be utilized as primary color</li> </ul>	 <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Thatch roof</li> <li>• Additional half-timbers near the gables, and elimination of proposed patterns</li> <li>• Elimination of proposed front door portico</li> <li>• Custom muted yellow color.</li> </ul>	<ul style="list-style-type: none"> <li>• Removal of half-timbers at the top of the primary entry door, as circled in red.</li> <li>• Color shall be modified to a yellow hue, either Lemon Twist, Goldfinch, or yellow hue color proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.</li> </ul> <div style="display: flex; justify-content: space-around; align-items: flex-start;"> <div style="text-align: center;">  <p><b>Lemon Twist</b> SW 6909</p> </div> <div style="text-align: center;">  <p>#fdb68</p> </div> </div> <div style="text-align: center; margin-top: 10px;">  <p><b>Goldfinch</b> SW 6905</p> <p>#fdb824</p> </div>

Approved Façade	Proposed Modifications By Applicant	Director Determination
<b>Unit 5</b>		
 <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Stone chimney</li> <li>• Thatch roof</li> <li>• Half-timbers located on vertical west elevation.</li> <li>• Bracing Blue to be utilized as primary color</li> <li>• Shutters and other details</li> </ul>	 <ul style="list-style-type: none"> <li>• Elimination of shutter details</li> <li>• Elimination of Portico on South elevation</li> <li>• Elimination of Stone Chimney</li> <li>• Half-timbers utilized throughout all elevations.</li> <li>• Redish color for primary façade</li> </ul> <div style="text-align: center;">  <p><small>BODY COLOR MFR: Sherwin Williams Color: Custom</small></p> </div>	<ul style="list-style-type: none"> <li>• Reduce the number of half timbers on the primary entry elevation to the satisfaction of the Community Development Director prior to the issuance of final occupancy.</li> <li>• <u>Proposed color by applicant in their revised package is satisfactory to the Community Development Director</u></li> </ul>
<b>Unit 6</b>		

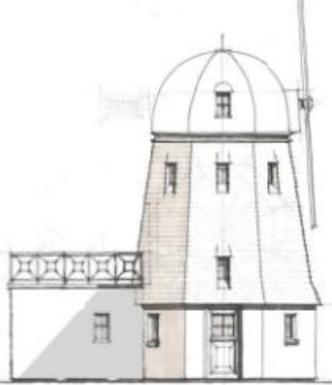
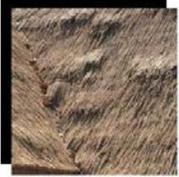
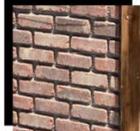
Approved Façade	Proposed Modifications By Applicant	Director Determination
 <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Thatch roof</li> <li>• Stone utilized on portions of the facades</li> <li>• Shutters/faux flue detail</li> <li>• Peppery to be utilized as primary color</li> </ul>	 <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Thatch roof</li> <li>• Addition of Stone on west elevation</li> <li>• Use of half-timbers</li> <li>• Elimination of shutters and faux flue</li> <li>• Addition of half "logs" on north elevation</li> <li>• Change of color to "natural" finish</li> <li>•</li> </ul>	<ul style="list-style-type: none"> <li>• Half-logs on shall be removed or covered with stucco, or similar techniques to be approved by the Community Development Director.</li> <li>• Color shall be modified to a lighter red hue/clay color either Chaise Mauve, smoky salmon, or, other hue color proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.</li> </ul> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>Smoky Salmon SW 6331</p> <p>#dfb9a9</p> </div> <div style="text-align: center;">  <p>Chaise Mauve SW 6016</p> <p>#bfb3b3</p> </div> </div>

Approved Façade	Proposed Modifications By Applicant	Director Determination
 <ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Thatch roof</li> <li>• Stone utilized on chimney</li> <li>• Shutters</li> <li>• Vintage Vessel to be utilized as primary color</li> </ul>	<p style="text-align: center;">Unit 7</p>   <ul style="list-style-type: none"> <li>• Elimination of the portico on the primary entities.</li> <li>• Elimination of the use of half-timbers</li> <li>• Addition of eave details with the use of logs</li> <li>• Elimination of shutters</li> <li>• Change of color to a custom, lighter green.</li> <li>• Addition of detailing for windows and doors</li> </ul>	<p>Color should be modified to match the proposed darker green color through techniques proposed by the applicant and approved by the Community Development Director prior to issuance of final occupancy.</p>

Approved Façade	Proposed Modifications By Applicant	Director Determination
<div data-bbox="351 470 667 678" data-label="Image"> </div> <div data-bbox="351 708 667 921" data-label="Image"> </div> <div data-bbox="351 951 667 1187" data-label="Image"> </div> <ul data-bbox="388 1220 824 1347" style="list-style-type: none"> <li>• Stucco wall</li> <li>• Thatch roof</li> <li>• Stone utilized on chimney</li> <li>• Shutters/faux flue</li> <li>• Bracing Blue to be utilized as primary color</li> </ul>	<p data-bbox="1191 440 1255 465">Unit 8</p> <div data-bbox="1156 470 1405 840" data-label="Image"> </div> <div data-bbox="1422 470 1714 840" data-label="Image"> </div> <div data-bbox="1163 857 1555 1135" data-label="Image"> </div> <div data-bbox="1564 864 1704 996" data-label="Image"> </div> <p data-bbox="1572 999 1672 1031">     BODY COLOR      MFR: Sherwin Williams      Color: Custom   </p> <ul data-bbox="1191 1187 1714 1361" style="list-style-type: none"> <li>• Elimination of proposed stucco wall</li> <li>• Elimination of stone chimney</li> <li>• Elimination of shutters /faux flue</li> <li>• Addition of brick throughout all elevations</li> <li>• Change of façade color to match darker reddish hue bricks</li> <li>• Addition of half-timbering</li> </ul>	<p data-bbox="1734 470 2021 522">Proposed modifications are approved as proposed.</p>

Approved Façade	Proposed Modifications By Applicant	Director Determination
<div data-bbox="351 470 675 743"> </div> <div data-bbox="351 770 655 996"> </div> <div data-bbox="351 1024 642 1242"> </div> <ul data-bbox="388 1251 732 1373" style="list-style-type: none"> <li>• Stucco wall</li> <li>• Thatch roof</li> <li>• Stone utilized on chimney</li> <li>• Use of half-timbers near gable</li> <li>• Use of Sunrise, light yellow color</li> </ul>	<p data-bbox="1191 440 1255 465">Unit 9</p> <div data-bbox="1153 493 1402 795"> </div> <div data-bbox="1415 493 1714 795"> </div> <div data-bbox="1173 800 1589 1117"> </div> <ul data-bbox="1191 1164 1672 1263" style="list-style-type: none"> <li>• Additional use of half-timbering on all elevations</li> <li>• Change of façade color to darker yellow</li> <li>• Elimination of dormers</li> <li>• Elimination of upper windows</li> </ul>	<p data-bbox="1734 470 2088 656">Half-timbers with curvatures along multiple facades shall be removed and patterns reduced as shown in red circles to the satisfaction of the Community Development Director prior to the issuance of final occupancy.</p>

Approved Façade	Proposed Modifications By Applicant	Director Determination
 <p>The approved facade drawings include: a front elevation with a steep gable and a small bell tower; a side elevation showing a gabled roof and a chimney; a rear elevation with a gabled roof and a chimney; and a detailed view of the front entrance with a gabled roof and a window.</p>	<p>Chapel</p>   <p>BODY COLOR MFR: Sherwin Williams Color: Custom</p>  	<ul style="list-style-type: none"> <li>• Color banding of red and white shall be removed from the roof. Roof shall consist of all grey/black slate.</li> <li>• The use of strong shall continue on the west/south elevations to the extent feasible as approved by the Community Development Director.</li> <li>• Existing color, white/cream shall remain as painted.</li> </ul>

Approved Façade	Proposed Modifications By Applicant	Director Determination
<ul style="list-style-type: none"> <li>• Stucco wall</li> <li>• Slate roof</li> <li>• Bell Tower</li> <li>• Window and door details</li> <li>• No color proposed, to be selected in the field</li> </ul>	<ul style="list-style-type: none"> <li>• Stucco wall remains</li> <li>• Proposed use of stained-glass on all elevations</li> <li>• Slate roof with color slate variant of red and white versus the approved black</li> <li>• Elimination of Bell Tower</li> <li>• Use of stone on east elevation and portions of west, south and north, limited to base only.</li> <li>• Use of sandstone color</li> </ul>	
<b>Windmill</b>		
 <p data-bbox="351 1130 692 1147">WINDMILL APPROVED NORTHEAST ELEVATION</p> 	  <p data-bbox="1510 973 1689 991">THATCH ROOF</p>  <p data-bbox="1166 1277 1305 1295">PLASTER SW 7004</p>  <p data-bbox="1340 1277 1480 1295">BRICK HALF TIMBER</p>	<p data-bbox="1734 727 2088 829">Proposed modifications are consistent with northern European design and is recommended to be approved as proposed.</p>

Approved Façade	Proposed Modifications By Applicant	Director Determination
<div data-bbox="406 440 1054 847" data-label="Image"> </div> <div data-bbox="361 864 1101 881" data-label="Caption"> <p><u>WINDMILL APPROVED NORTHWEST ELEVATION</u>      <u>WINDMILL APPROVED SOUTHEAST ELEVATION</u></p> </div> <div data-bbox="386 921 1091 1020" data-label="List-Group"> <ul style="list-style-type: none"> <li>• Proposed windmill included blades, with stone, wood batten siding, and stucco on the base.</li> <li>• Proposed colors were not determined.</li> <li>• On building permit stucco white called out with patterned roof.</li> </ul> </div>	<div data-bbox="1218 447 1564 916" data-label="Image"> </div> <div data-bbox="1191 939 1704 1060" data-label="List-Group"> <ul style="list-style-type: none"> <li>• Proposed use of brick base versus the stucco base</li> <li>• Succo use on the elevated structure</li> <li>• Replacement of slate roof and railings</li> <li>• Use of faux thatched roof consistent with remaining development</li> </ul> </div>	

**RESOLUTION NO. 25-05**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOLVANG CALIFORNIA UPHOLDING THE COMMUNITY DEVELOPMENT DIRECTOR'S DETERMINATION FOR DEVELOPMENT PLAN AMENDMENTS WITH MODIFICATIONS AND APPROVING MODIFICATIONS TO THE SITE PLAN AND LANDSCAPING PLAN AT 1704 MISSION DRIVE (APN 139-240-033) WITH A FINDING THAT THE PROPOSED AMENDMENT IS IN CONFORMANCE WITH THE ADOPTED CLASS 32 EXEMPTION TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) (PA 25-035)**

**WHEREAS**, on December 4, 2023, the Planning Commission of the City of Solvang approved Resolution 23-14 at a duly noticed regular public hearing approving a development plan for nine (9) hotel cottages and a meeting facility located at 1704 Mission Drive (APN 139-240-033) ("Development Plan"); and

**WHEREAS**, Applicant, On Design, LLC, applied for an amendment consistent with Condition PLN-8 of Resolution 23-14 requesting façade changes, including materials and colors ("Project") on June 16, 2025; and

**WHEREAS**, the Design Review Committee at its July 17 2025 meeting provided input and took public comment regarding the requested façade changes including color and materials and provided direction to the Community Development Director; and

**WHEREAS**, the Community Development Director, after careful review of the General Plan and Zoning Ordinance in effect at the time of Development Plan approval, the adopted Solvang Design Guidelines, and testimony from committee members of the Design Review Committee, issued a determination and notice of Development Plan Amendment Approval with modifications to the applicant on July 23, 2025; and

**WHEREAS**, Applicant, On Design, LLC, submitted a timely appeal of the Community Development Director's Decision for the Development Plan Amendment with modification on July 30, 2025; and

**WHEREAS**, consistent with Solvang Municipal Code section 11-17-3, an appeal of the Planning Manager (now Community Development Director), the Planning Commission is the review authority for the appeal of their decision; and

**WHEREAS**, the Planning Commission for the City of Solvang received for its review and consideration the Applicant's appeal request of the Community Development Director, as well reviewed material from the approved development plan and the applicant's proposed modifications; and

**WHEREAS**, a notice of public hearing regarding the Project was sent to adjoining property owners and advertised in the manner required by law and consistent with Solvang Municipal Code Section 11-17-3; and

**WHEREAS**, the Planning Commission of the City of Solvang reviewed and considered the Project at its duly noticed regular Planning Commission meeting on September 2, 2025.

**NOW THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOLVANG DOES HEREBY RESOLVE AS FOLLOWS:**

**SECTION 1.** The Planning Commission of the City of Solvang hereby finds the Project remains exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 because the Project is consistent with the applicable general plan land use designation, general plan policies, and zoning regulations, as conditioned, occurs on a site of no more than 5 acres substantially surrounded by urban uses that has no value for endangered, rare or threatened species, project approval would not result in any significant effects relating to traffic, noise, air quality or water quality, and the site can be adequately served by all required utilities and public services

**SECTION 2.** The Planning Commission of the City of Solvang, consistent with Solvang Municipal Code (SMC) Section 11-16-5.F, hereby finds:

1. The proposed development is consistent with the general plan, this zoning code, and other city goals, policies, and standards, as applicable.

**Fact.** The Project, with modifications as recommended by the Community Development Director is consistent with the pertinent goals, and policies for this type of development as set forth in the corresponding staff report. The proposed project is consistent with the underlying land use designation Tourist Related /Village Commercial land use designation that will serve tourist and provide commercial revenue. The Project meets all required zoning code requirements in effect at the time of vesting of the development plan. The proposed amendment is not in conflict with adopted city policies or standards.

2. For nonresidential development, the subject site is physically suitable for the proposed development in terms of design, operating characteristics, shape, size, and topography.

**Fact.** The Project, with modifications as recommended by the Community Development Director, is a non-residential development that will redevelops the site into 9 hotel cottages, a meeting room, and creates an event space for private gatherings. This use is consistent with the Zoning Ordinance in effect at the time of vesting of the development plan, as well as, consistent with the adopted Zoning Ordinance in effect at the time of adoption of these amendments. The proposed use is consistent with tourist commercial uses envisioned by both Solvang 2045 General Plan and the 2008 General Plan Land Use Element in effect at the time of project approval. The site is considered an infill project and is suitable for this type of development, as conditioned.

3. The proposed development will not constitute a hazard to the public, health, safety, or welfare.

**Fact.** The Project will not constitute a hazard to the public health, safety, and welfare of the residents and visitors to the City of Solvang.

**SECTION 3.** The Recitals set forth above are true and correct and are adopted as findings in support of this Resolution.

**SECTION 4.** The Planning Commission of the City of Solvang hereby approves the Project, subject to the conditions of approval attached as Exhibit A and project plans in Exhibit B and Exhibit C, attached hereto and incorporated herein by reference.

**SECTION 5.** This Resolution is effective immediately upon adoption.

**SECTION 6.** The City Clerk shall certify to the passage and adoption of this Resolution and shall cause a certified copy to be filed in the book of original resolutions.

**PASSED, APPROVED, AND ADOPTED** this 2nd day of September 2025

\_\_\_\_\_  
Jack Willams, Chair

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
Taylor Foland, Assistant City Attorney

\_\_\_\_\_  
Annamarie Porter, City Clerk

STATE OF CALIFORNIA            )  
COUNTY OF SANTA BARBARA    )ss  
CITY OF SOLVANG                )

I, Annamarie Porter, City Clerk of the City of Solvang, California do hereby certify that Resolution No. 25-05 was passed and adopted by the Planning Commission of the City of Solvang at a regular meeting of said Planning Commission held on the 2nd day of September, 2025, and thereafter signed and approved by the Chair and attested by the City Clerk, and that said resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
Annamarie Porter, City Clerk



**Exhibit A**  
**Conditions of Approval – Development Permit**  
**City of Solvang**

Land Use Permit (LUP) 22-021  
 Planning Application 25-038 – Amendment  
 Applicant: On Design, LLC / Edward St. George  
 Property Owner: Archdiocese of Los Angeles  
 1714 Mission Drive  
 APN: 139-240-033

*As Amended by Director Determination - 07/23/2025*

**As [Amended and Upheld] by the Planning Commission September 2, 2025**

The following conditions of approval apply to the project referenced above. The conditions of approval are grouped by department and include the timing of required compliance. Additional language within a condition may further define the timing of the required compliance.

**Note:**

Underlines and Italic text represent added conditions. ~~Strikeout~~ text represents conditions removed or completed.

<i>Condition:</i>		<i>Timing:</i>
<b>General Conditions:</b>		
GC-1	Project Description: The Development Plan consists of the following as shown in Exhibit B <u>and as amended as noted:</u> <ul style="list-style-type: none"> <li>• Construction of nine (9) separate cottages ranging in size from 250 to 390 square feet (sf) that will serve as one-bedroom hotel rooms covering approximately 3,575 sf of the site (21.9%)</li> <li>• An on-site ancillary building approximately 400 sf serving as a gathering area.</li> <li>• A separate supply room is attached to one of the cottages, as shown in the proposed project plans</li> <li>• Courtyard and perimeter landscaping approximately 8,250 sf or 50% of the net site area.</li> <li>• Perimeter stone wall</li> </ul>	Land Use Permit
GC-2	Development Permit for LUP 22-021 shall expire on December 4, 2026	<i>Prior to Expiration Date Complete</i>
GC-3	The Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any loss, liability, costs, damages, claims, action or proceeding of any kind including also any proceeding commenced to attack, review, set aside, void or annul the approval of this resolution or to determine the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such	On-Going

<i>Condition:</i>		<i>Timing:</i>
	<p>loss, liability, costs, damages, claims, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof.</p> <p>Applicant shall reimburse the City for any court costs and attorney’s fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition. Applicant’s acceptance of this resolution or commencement of construction or operations under this resolution shall be deemed to be acceptance of all conditions contained in this resolution.</p>	
GC-4	<p>Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging, or rebuilding of any building, structure, or improvement, the applicant shall obtain a Zoning Clearance, Building, and Grading Permits(s) from the Solvang City. These Permits are required by ordinance and are necessary to ensure implementation of the conditions required by the Planning Commission.</p>	<p><i>Prior to Permit Issuance</i></p> <p><i>Complete</i></p>
GC-5	<p>All Conditions of Approval shall be provided on a full-size drawing sheet as part of the construction plan set submitted for building permits. All notes and specifications as shown on the plans shall be considered Conditions of Approval. If there is a conflict between the approved plans and the Conditions of Approval, the Conditions of Approval shall prevail.</p> <p>The project shall comply with all Federal, State, Local and City codes, regulations, and standards. Construction plans shall comply with applicable California Building Codes in effect at the time of submittal.</p>	<p><i>Building Permit Submittal</i></p>
GC-6	<p>Before the City issues any Permit, the applicant must obtain written clearance from all departments having conditions, such clearance shall indicate that the applicant has satisfied all pre- construction conditions. For any subsequent permit or application, the Applicant shall comply with Solvang Municipal Code Section 44-16-6, 11-16-13.</p>	<p><i>Prior to Permit Issuance</i></p>
GC-7	<p>The applicant shall hold a pre-construction conference. The conference shall include representatives from the Public Works, Planning Department, Building Department, the applicant, and contractor(s). The following shall be finalized and specified prior to the start of construction:</p> <ol style="list-style-type: none"> <li>a. Hours of construction shall be limited to 7:30 am to 5:30 pm weekdays. No construction shall be allowed on Saturday, Sunday or State holidays except as approved in writing by the Public Works Director, or his designee. Indoor activities can occur on the weekends along as there is no outdoor noise.</li> </ol>	<p>Prior to building or grading permit issuance</p>

<i>Condition:</i>		<i>Timing:</i>
	<ul style="list-style-type: none"> <li>b. Construction related truck-trips are to be scheduled during non-peak hours to help reduce truck traffic on adjacent streets and roadways.</li> <li>c. The route of construction related traffic is to be established to minimize trips through surrounding residential neighborhoods.</li> <li>d. Regular water sprinkling shall occur during site grading and the transportation of fill materials.</li> <li>e. Trucks are covered when hauling grading material.</li> <li>f. Maintain and clean public streets and sidewalks during grading and construction.</li> </ul> <p>The street, whether public or private, shall not be used for storage of equipment or materials.</p>	
GC-8	Construction Equipment Noise. Construction equipment shall be properly maintained and equipped with noise-reduction intake and exhaust mufflers and engine shrouds, in accordance with manufacturers' recommendations. Equipment engine shrouds should be closed during equipment operation.	During Construction
GC-9	The Owner/Applicant shall designate a washout area(s) for the washing of concrete, stucco, paint, equipment, tools, etc., to prevent wash water from discharging to the storm drains, streets, drainages, or creeks. Polluted water and materials from the washout area(s) shall be contained within this area and removed from the site at least once a week or more often as needed to prevent spillage. The construction wash-out area shall be depicted on project plans submitted for land use clearances and grading permits.	During Construction
GC-10	Construction equipment staging and storage areas shall not be located beyond the boundaries of the property unless the applicant obtains an agreement for staging on an adjacent property. The staging and storage areas for construction vehicles shall be depicted on project plans submitted for land use clearances and grading permits.	During Construction
GC-11	<p>Prior to the issuance of any Building Permits, the Applicant shall pay the following fees to the City in the amounts in effect at the time of Building Permit application: These fees shall acknowledge the difference between the existing building versus the new proposed building and the fees will be calculated proportionally.</p> <ul style="list-style-type: none"> <li>a. Traffic Mitigation fee to be determined by the City Engineer, if applicable.</li> <li>b. Water connection fee as set forth in the Municipal Code, if applicable.</li> <li>c. Sewer connection fee as set forth in the Municipal Code, if applicable.</li> <li>d. Drainage Impact fees as set forth in the Municipal Code, if applicable.</li> </ul>	Prior to building Permit Issuance

Condition:		Timing:
	<p>e. Other fees, e.g., school fees, addressing, and fire protection certificates.</p> <p>f. All applicable processing review fees.</p>	
GC-12	<p>The Planning Department shall be notified immediately if any prehistoric, archaeological, or fossil artifact or resource is uncovered during construction. All construction must stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained to evaluate the finds and recommend appropriate action.</p> <p>All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in CEQA Section 15064.5 (d) and (e) shall be followed.</p>	During Construction
GC-13	<p>Consistent with General Order 95, of the California Public Utilities Commission, a note shall be included in the cover sheet and utility plan that includes the following language: "Minimum clearances are to be maintained under or around overhead high voltage power including 12 feet vertically from any walkable surface, including rooftops, and 6 feet horizontally from any walkable surface, including roof tops, balconies, stairwells, scaffolding, etc. The applicant shall verify these clearances at all times. Applicant shall notify PG&amp;E if these clearances cannot be met prior to commencing construction"</p>	During Construction
<u>GC-14</u>	<u>Conditions of this resolution shall be placed on any revised building permit.</u>	<u>Plan Revision Submittal</u>
<u>GC-15</u>	<u>Applicant shall be responsible to remit all building permit review fees and additional inspection fees for any plan revisions per the adopted fee schedule in effect at the time of building permit application.</u>	<u>Plan Revision Submittal</u>
<u>GC-16</u>	<u>Consistent with Solvang Municipal Code Section 11-6-5.A, the Development Plan conditions shall convert to a Development Permit. All conditions shall be adhered to throughout the duration of operations when the timing States "During Operations.</u>	<u>During Operations</u>
<b>Stanta Barbara County APCD</b>		
APCD-1	<p>Santa Barabra County APCD Grading Conditions as follows:</p> <ul style="list-style-type: none"> <li>All dirt stock pile areas shall be sprayed daily and covered with tarps or other dust barriers as needed;</li> <li>Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading shall be sown with a fast germinating, noninvasive, grass seed and watered until vegetation is established;</li> </ul>	During Construction

<i>Condition:</i>		<i>Timing:</i>
	<ul style="list-style-type: none"> <li>• All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;</li> <li>• All roadways, driveways, sidewalks, etc. to be paved shall be completed as soon as possible. In addition, building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;</li> <li>• Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site;</li> <li>• All trucks hauling dirt, sand, soil, or other loose materials shall be covered or shall maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with eve Section 23114;</li> <li>• Wheel washers and/or rumble strips shall be installed where vehicles enter and exit unpaved roads onto streets; and</li> <li>• The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, and reduce visible emissions below the APCD's limit of 20% opacity for greater than 3 minutes in any 60-minute period. The name and telephone number of such persons shall be provided to APCD Engineering &amp; Compliance Division prior to the start of any grading, earthwork or demolition.</li> </ul>	
APCD-2	Asphalt paving activities shall comply with APCD Rule 329, Cutback and Emulsified Asphalt Paving Materials. This condition shall be noted on public improvement plans and grading plan.	During Construction
<b>Santa Barbara County Fire Department</b>		
SBCFD-1	<p>Prior to the issuance of any Land Use Permit, the Applicant shall implement conditions provided by the County of Santa Barbara Fire Department. (Letter dated 3/5/23 Project Number 22FDR-00028):</p> <ol style="list-style-type: none"> <li>1. All standard fire department conditions and current codes shall apply at time of development.</li> <li>2. Recorded addressing is required prior to building permit issuance.</li> <li>3. Fire Protection Certificate (FPC's) shall be required.</li> <li>4. An automatic fire sprinkler system shall be installed. <ol style="list-style-type: none"> <li>a. Fire sprinkler plans shall be approved by the fire department prior to installation.</li> </ol> </li> <li>5. An automatic fire or emergency alarm system shall be installed.</li> <li>6. Address numbers shall be a minimum height of 6 inches.</li> <li>7. Address numbers shall be as required by the fire department.</li> </ol>	Building Permit

Condition:		Timing:
	<p>a. Address number locations shall be approved by the fire department.</p> <p>b. Address numbers shall be a color contrasting to the background color.</p> <p>c. The address numbers shall be elevated at least three feet for the ground for clear visibility and easy directional identification.</p> <p>d. The numbers shall be visible for the access road when traveling in either direction.</p> <p>e. If the driveway is over 150 feet in length or the building is obstructed from view at the access road and /or driveway, numbers shall be posted at all road and driveway intersections as is necessary.</p> <p>8. The applicant shall be required to pay Fire Department Development Impact Mitigation Fees in accordance with Chapter 15 of the Santa Barbara County Code.</p> <p>a. Payment shall be made according to the schedule of fees in place on the date fees are paid. As of the date of this letter, fees currently are as follows:</p> <p>b.. Nonresidential-Retail/Commercial \$0.77 per square foot.</p>	
<u>SBCFD-2</u>	<u>No final occupancy or temporary occupancy shall be issued without issuance and inspections from the Santa Barbara County Fire Department</u>	<u>Prior to issuance of final occupancy</u>
Public Works		
PW-1	<p>The following items are required by the Public Works Department for frontage improvements:</p> <ol style="list-style-type: none"> <li>1. Upon completion of the project, the frontages along Alisal occupancy Road and Mission Drive will include full frontage improvements meeting current City and ADA standards. All remaining concrete flatwork, unutilized tree wells, or other such inconsistencies along the frontage must be filled-in to provide a newly improved project frontage. Existing unbroken brick pavers will be accepted. <u>Alternatively, an ADA ramp shall not be required at the southeast corner of Alisal Road and Mission Road if the applicant enters into a parking agreement with the adjacent property located at 1714 Mission Drive (APN 139-240-034).</u></li> <li>2. Install two (2) new decorative streetlights along the Alisal Road Project frontage. Spacing, style, and installation shall be consistent with the Solvang Village/Downtown. Spacing across the street indicated approximately 100-ft spacing between lights.</li> <li>3. Remove the existing unutilized driveway ramps on Alisal Road and Mission Drive including the depressed</li> </ol>	Prior to Issuance of certificate of Occupancy

<i>Condition:</i>		<i>Timing:</i>
	<p>curb. Install new full-height curb and gutter and new brick sidewalk per City standard.</p> <ol style="list-style-type: none"> <li>4. A Caltrans Encroachment Permit will be required for any improvement to the State right-of-way.</li> <li>5. A City of Solvang encroachment permit will be required for all frontage work including utility connections.</li> <li>6. No permanent hardscape beyond brick flatwork along the Mission Drive (State) right-of-way will be allowed.</li> <li>7. The project abuts the City Parking Lot 1 on the south side which shares a 3'-4' block wall. If any additional proposed screening, fencing, wall or landscaping is proposed by the applicant, this request will be reviewed by the Planning Manager and Public Works Director for consideration and approval.</li> <li>8. The applicant or contractor shall clean and repair any damaged public or private improvements (curbs, gutters, sidewalks, water value fire hydrants, manholes, etc.) subject to review and approval of the city engineer.</li> <li>9. The developer shall clear the project site of all construction fencing, debris, weeds, dead plants, and other waste. This requirement shall be noted on the final building plans.</li> </ol>	
<u>PW-2</u>	<u>Applicant shall provide a trash enclosure on-site, or at the property located at 1714 Mission Drive (APN 139-240-034) with a signed maintenance/access agreement. The applicant may also enter into an agreement for trash pick-up with the City of Solvang for a fee determined by the Administrative Services Director and agreement approved by the City Manager. City shall recover all costs associated with this arrangement.</u>	<u>Prior to Final Occupancy</u>
<u>PW-3</u>	<u>Any plan revisions that increase impervious surfaces including but not limited to brick pavers with concrete underlayment, synthetic turf, and other surfaces deemed to be impervious by the City Engineer shall be reviewed and approved through a plan revision to ensure all stormwater is captured on-site consistent with the Solvang Municipal Code Title 14.</u>	<u>Prior to Issuance of Plan Revisions</u>
<u>PW-4</u>	<u>Prior to issuance of final occupancy, a survey shall be completed to ensure walls, overhangs, and other permeant structures are not located within either City right of way or Caltrans Right of way. If permeant structures are located within the city right-of-way, the applicant shall either remove the structures, or enter into a</u>	<u>Prior to Final Occupancy</u>

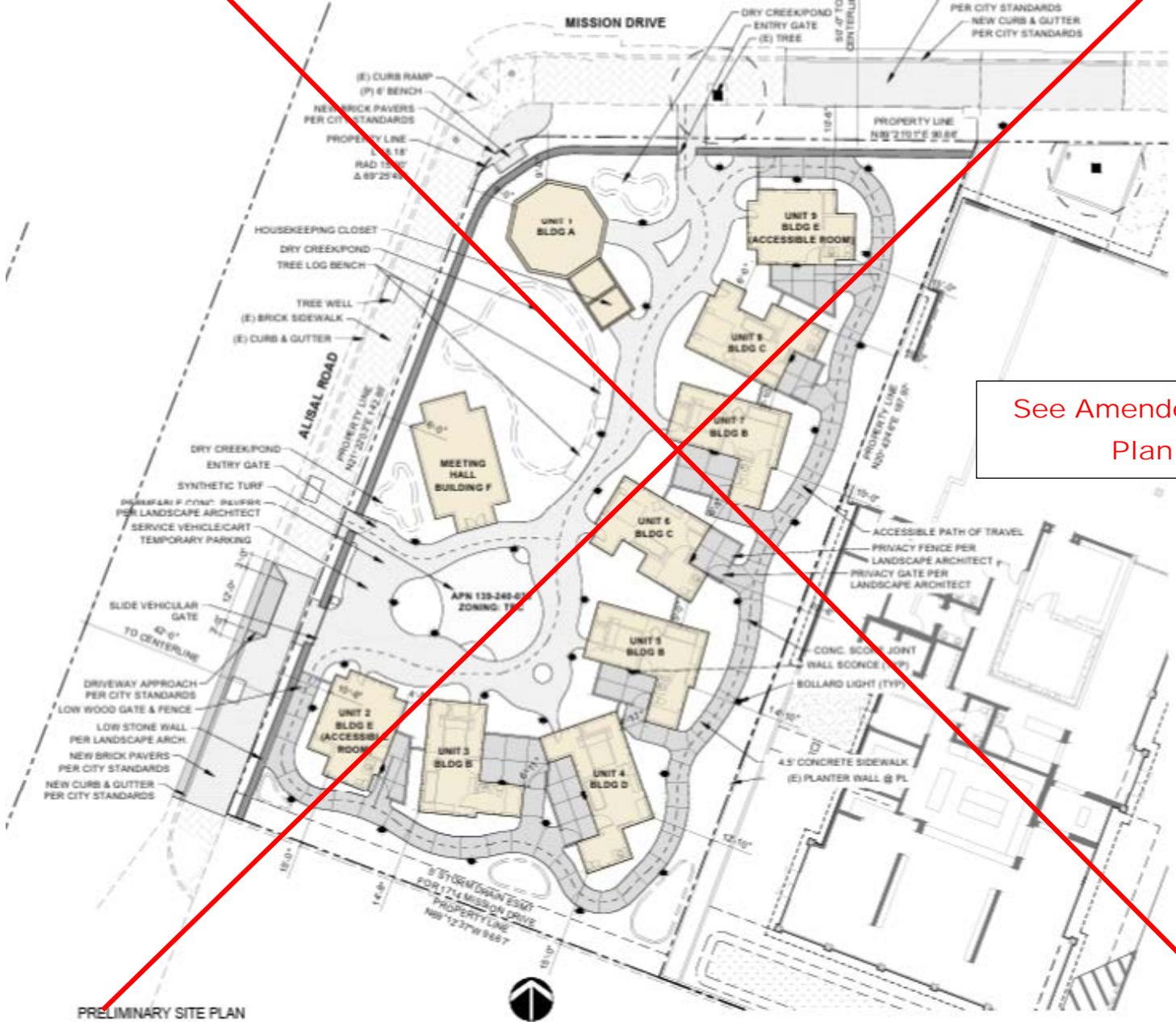
<i>Condition:</i>		<i>Timing:</i>
	<u>encroachment agreement that holds harmless the City of Solvang. Applicant shall be responsible for all required fees, including attorney fees charged per the adopted fee schedule to draft such documents.</u>	
<b>Utilities</b>		
UTI-1	At building permit submittal, the applicant shall apply to the Utilities Department for review of the water and sewer service lines for the cottages. Any new meters and connections shall be reviewed and approved by the Utilities Department	Building Permit Submittal
<b>Planning</b>		
PLN-1	Prior to the issuance of any Land Use Permits, the planning division will review the elevations, colors, materials, lighting, sign plans and landscaping plans to confirm that they are consist to the plans reviewed and approved by both the Design Review Commission and the Planning Commission.	Building Permit Submittal
PLN-2	<p>Prior to Land Use Permit, the applicant shall provide a parking agreement to the city attorney for review. This parking agreement shall detail the location of the 10 parking spaces for this project.  <u>Parking shall be provided at either the following locations:</u></p> <ul style="list-style-type: none"> <li>• <u>1693 Mission Drive (APN 139-143-025); or</u></li> <li>• <u>1714 Mission Drive (APN 139-240-034)</u></li> </ul> <p><u>Applicant shall be responsible for in lieu fee payment of \$123,760 prior to issuance of final occupancy for removal of any existing off-site parking and shall ensure the site is ADA compliant with the California Building Code. Parking spaces shall be signed and painted with “For hotel use at 1714 Mission Drive Only, towing shall be enforced” citing the proper California Vehicle code sections.</u></p> <p>These designated parking spaces shall be located within 500 feet of the project. Upon approval by the city attorney, the applicant shall record the final document and submit recorded document to the planning division.</p>	<p>Prior to land use permit</p> <p><u>Prior to issuance of Final Occupancy.</u></p>
PLN-3	Prior to issuance of a land use permit or building permit, the applicant shall provide a trash enclosure use agreement and any associated easements for ingress/egress to access the shared trash enclosure between property owners. Applicant shall also provide a shared maintenance agreement for the trash enclosure.	<p>Prior to Land Use Permit</p> <p><u>Prior to issuance of Final Occupancy.</u></p>
PLN-4	The applicant and hotel operator are not allowed to use any parking spaces or drive aisles within the City Lot 1 for dropping off hotel visitors, luggage, supplies, or any other operation of the cottages.	<p>On-going</p> <p><u>During Operations</u></p>
PLN-5	Prior to the issuance of any Land Use Permit, performance securities in amounts to be determined by the planning manager and in a form acceptable to the City, to guarantee the proper	Building permit issuance.

<i>Condition:</i>		<i>Timing:</i>
	<p>installation of plantings, walls, and fences in accordance with the approved plan, and adequate maintenance of the planting for two (2) years following the issuance of a certificate of occupancy shall be filed with the City Clerk. The performance security portion of the installation will be released at a time the planning manager approves the installation. The remaining maintenance performance security portion shall be released at the end of two (2) years following the date the certificate of occupancy is issued by the City, provided the planting has been adequately maintained (SMC 11-11-5(C)(3)).</p> <p><u>Applicant shall maintain all live plantings at all times. Any dead landscaping shall be replaced within 30 days upon issuance of a notice of violation by the Community Development Department.</u></p>	<p><u>During Operations</u></p>
PLN-6	<p>The Applicant must complete and submit the Certificate of Completion for the Model Water Efficiency Local Ordinance (MWELO). The Certificate of Completion should be submitted after the project is complete and irrigation audit performed but before the final inspection, if separate from the audit.</p>	<p><i>Prior to issuance of Final Occupancy.</i></p>
PLN-7	<p>The Planning Manager may authorize minor changes to Exhibit B not to exceed 10 percent of objective standards or other approval, only if the changes are consistent with all applicable provisions of the Solvang Municipal Code, and the spirit and intent of the original approval and does not involve the following:</p> <ul style="list-style-type: none"> <li>• A basis for findings in a Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report for the development;</li> <li>• A basis for conditions of approval for the development; and</li> <li>• A specific consideration by the Review Authority (e.g., the Planning Manager, Commission, or Council) in approving the plan or permit. Minor changes authorized pursuant to this condition shall not require separate processing of a formal amendment.</li> </ul>	<p><i>On-Going</i></p>
PLN-8	<p><u>All exterior lighting shall be consistent with Solvang Municipal Code section 11-10A-7.C.</u></p>	<p><u>During Operations</u></p>
PLN-9	<p><u>Prior to any re-painting as directed by the review authority, the applicant shall paint a test swatch and inform the Community Development Director of the test swatch for each building. The test swatch shall be inspected and approved by the Community Development Director prior to completion of façade paints.</u></p>	<p><u>During Construction</u></p>
PLN-10	<p><u>No certificate of occupancy shall be issued if facades do not match approved plan revisions. Plan revisions shall include all materials, and all approved colors on the plans.</u></p>	<p><u>During Construction</u></p>
PLN-11	<p><u>No temporary certificate of occupancy shall be issued for any event that is accessible to the public prior to the completion of all required conditions in this amended conditions of approval.</u></p>	<p><u>During Construction</u></p>

<i>Condition:</i>		<i>Timing:</i>
PLN-12	<u>Events shall abide by the following:</u> <u>Any events that includes use of amplified music is considered an ancillary use and shall be in compliance with the City's noise standards, consistent with Solvang Municipal Code (SMC) Section.6-2-7. As an ancillary use, any use of amplified music shall not charge a fee or entry. Amplified music shall be limited to the hours of 12:00 p.m. to 8:00 p.m. and shall not exceed 80 decibels (dB) on Friday, Saturday, and Sunday, as measured from the edge of the property line, and 70 dB Monday through Thursday</u>	<u>During Operations</u>

**\*\*END CONDITIONS\*\***

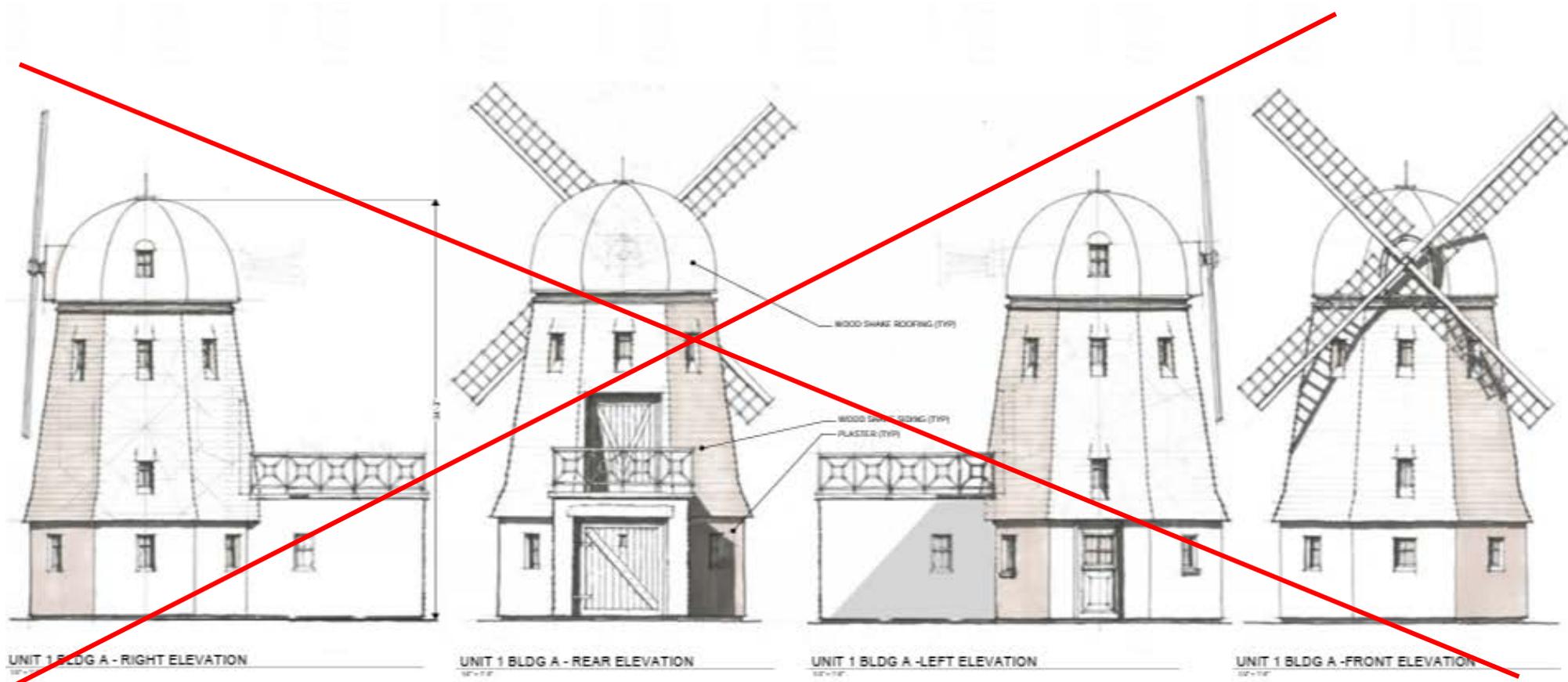
**EXHIBIT B  
PROJECT PLANS REDUCED (AS AMENDED)**



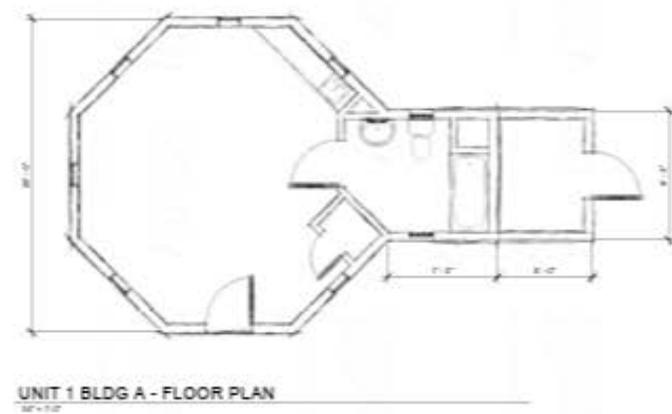
See Amended Site  
Plan

PRELIMINARY SITE PLAN





See Exhibit C



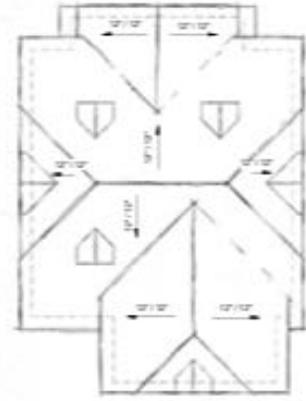
See Exhibit C



UNIT 2 BLDG E (MIRROR) - RIGHT ELEVATION  
1/8" = 1'-0"



UNIT 2 BLDG E (MIRROR) - FRONT ELEVATION  
1/8" = 1'-0"



UNIT 2 BLDG E (MIRROR) - ROOF PLAN  
1/8" = 1'-0"



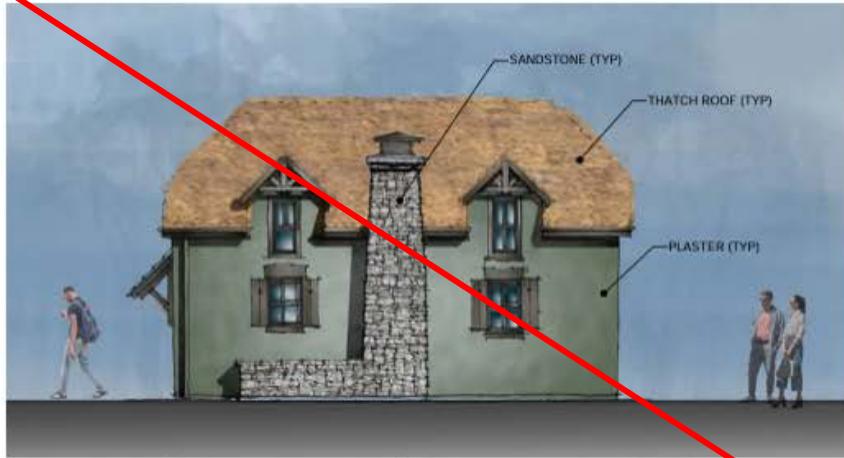
UNIT 2 BLDG E (MIRROR) - LEFT ELEVATION  
1/8" = 1'-0"



UNIT 2 BLDG E (MIRROR) - REAR ELEVATION  
1/8" = 1'-0"



UNIT 2 BLDG E (MIRROR) - FLOOR PLAN  
1/8" = 1'-0"



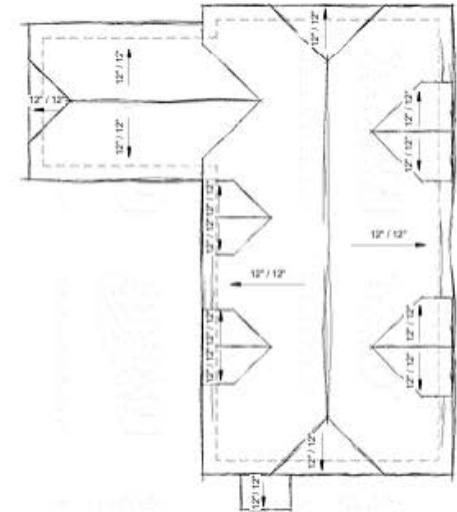
UNIT 3 BLDG B (MIRROR) - RIGHT ELEVATION

1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - FRONT ELEVATION

1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - ROOF PLAN

1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - LEFT ELEVATION

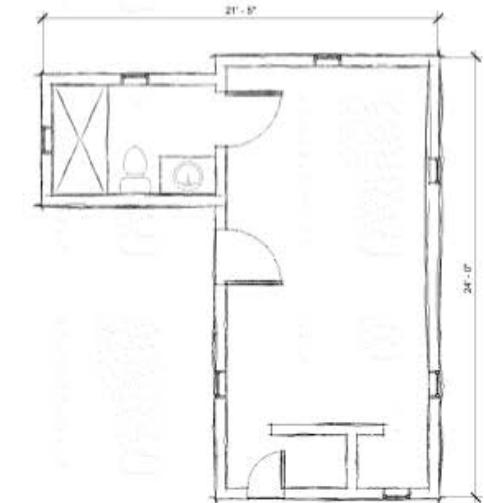
1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - REAR ELEVATION

1/4" = 1'-0"

See Exhibit C



UNIT 3 BLDG B (MIRROR) - FLOOR PLAN

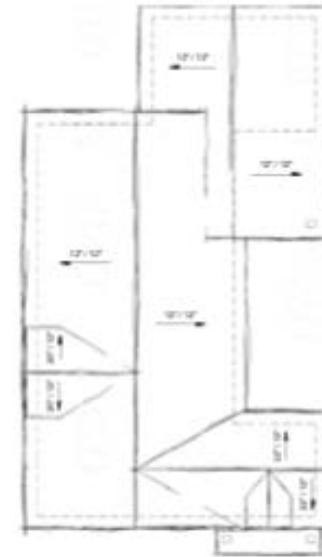
1/4" = 1'-0"



UNIT 4 BLDG D - LEFT ELEVATION

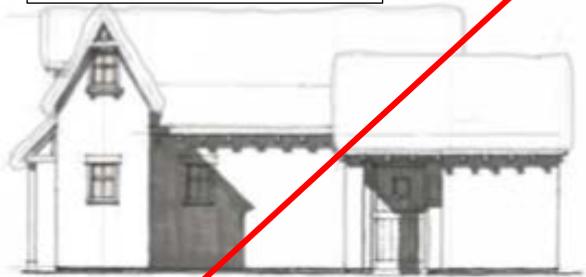


UNIT 4 BLDG D - FRONT ELEVATION



UNIT 4 BLDG D - ROOF PLAN

See Exhibit C



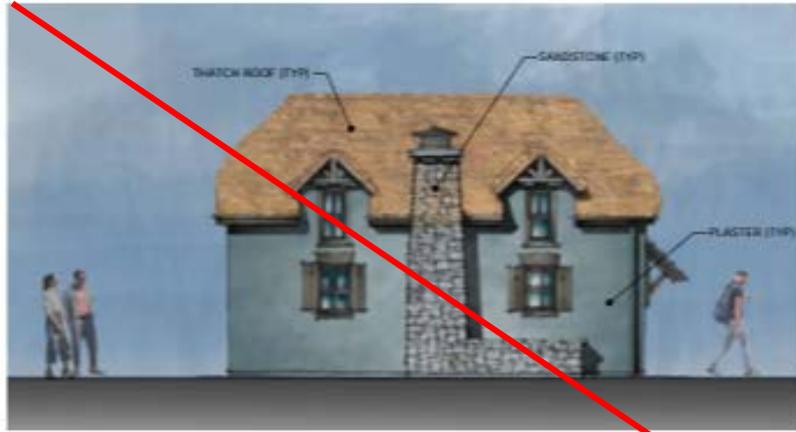
UNIT 4 BLDG D - RIGHT ELEVATION



UNIT 4 BLDG D - REAR ELEVATION



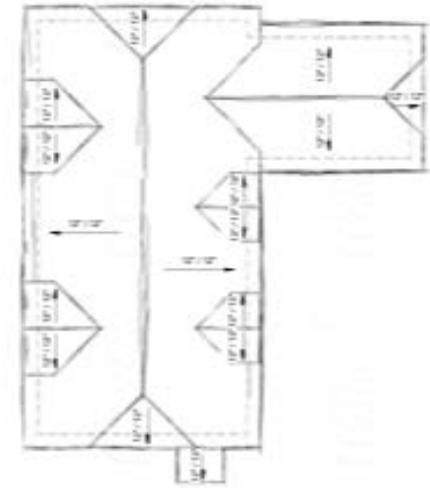
UNIT 4 BLDG D - FLOOR PLAN



UNIT 5 BLDG B - LEFT ELEVATION  
1/8" = 1'-0"



UNIT 5 BLDG B - FRONT ELEVATION  
1/8" = 1'-0"



UNIT 5 BLDG B - ROOF PLAN  
1/8" = 1'-0"

See Exhibit C



UNIT 5 BLDG B - RIGHT ELEVATION  
1/8" = 1'-0"



UNIT 5 BLDG B - REAR ELEVATION  
1/8" = 1'-0"



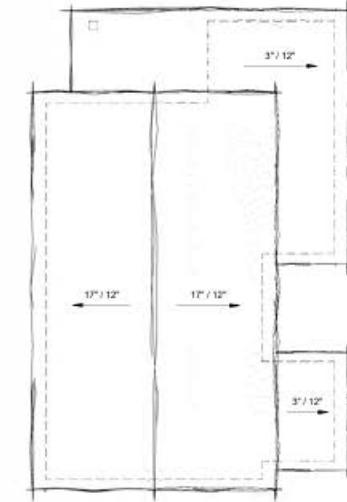
UNIT 5 BLDG B - FLOOR PLAN  
1/8" = 1'-0"



UNIT 6 BLDG C - LEFT ELEVATION  
1/4" = 1'-0"

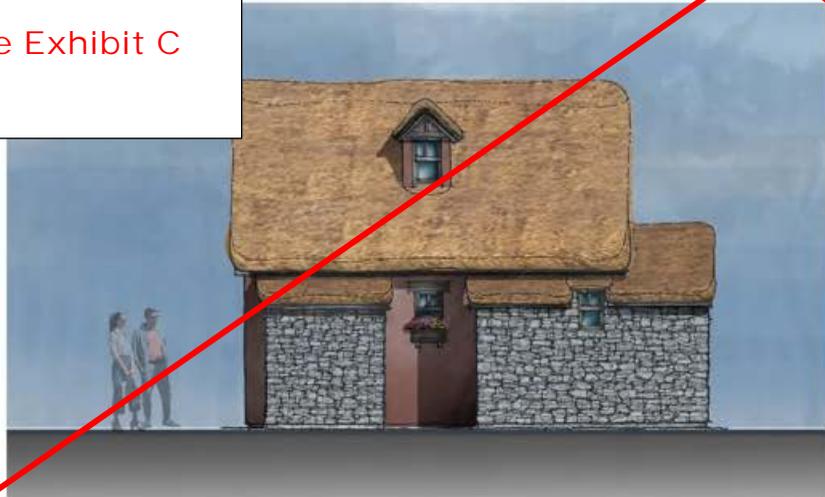


UNIT 6 BLDG C - FRONT ELEVATION  
1/4" = 1'-0"



UNIT 6 BLDG C - ROOF PLAN  
1/4" = 1'-0"

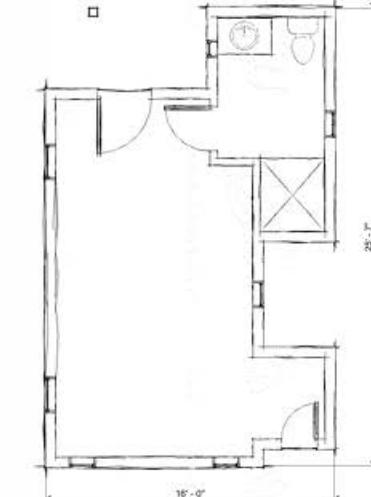
See Exhibit C



UNIT 6 BLDG C - RIGHT ELEVATION  
1/4" = 1'-0"

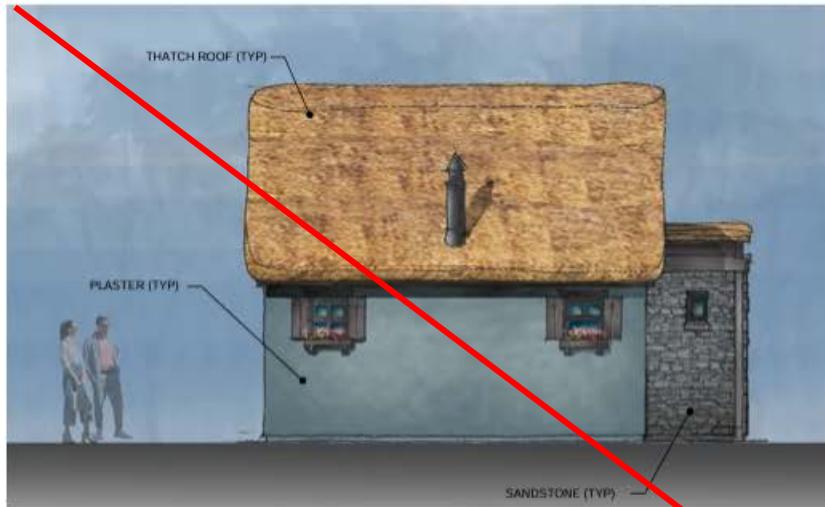


UNIT 6 BLDG C - REAR ELEVATION  
1/4" = 1'-0"



UNIT 6 BLDG C - FLOOR PLAN  
1/4" = 1'-0"

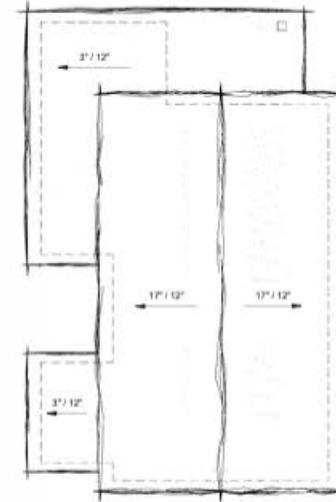




UNIT 8 BLDG C (MIRROR) - RIGHT ELEVATION  
1/4" = 1'-0"

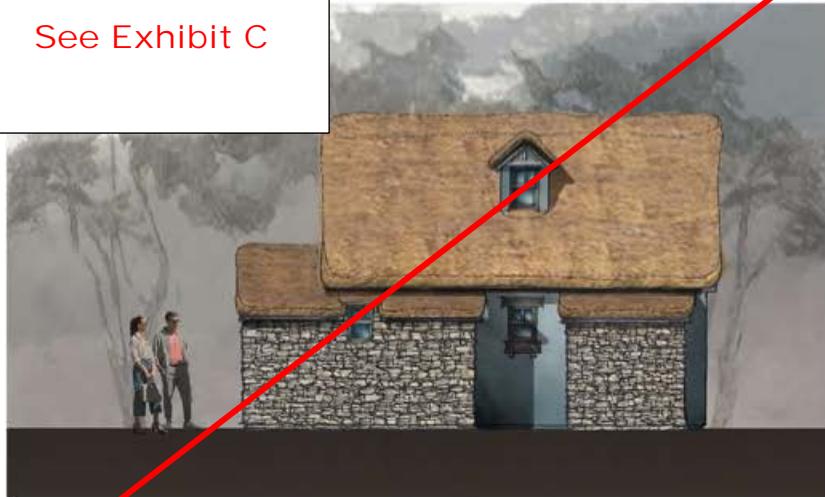


UNIT 8 BLDG C (MIRROR) - FRONT ELEVATION  
1/4" = 1'-0"



UNIT 8 BLDG C (MIRROR) - ROOF PLAN  
1/4" = 1'-0"

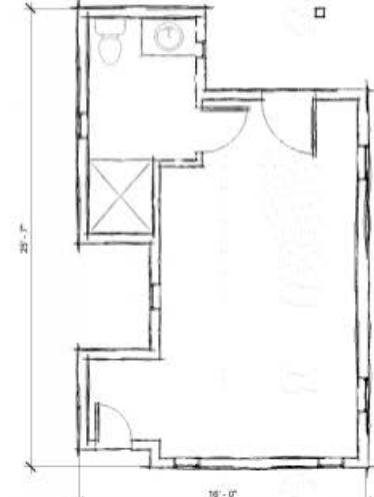
See Exhibit C



UNIT 8 BLDG C (MIRROR) - LEFT ELEVATION  
1/4" = 1'-0"

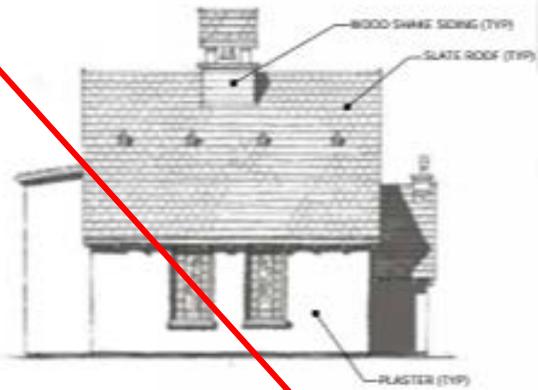


UNIT 8 BLDG C (MIRROR) - REAR ELEVATION  
1/4" = 1'-0"

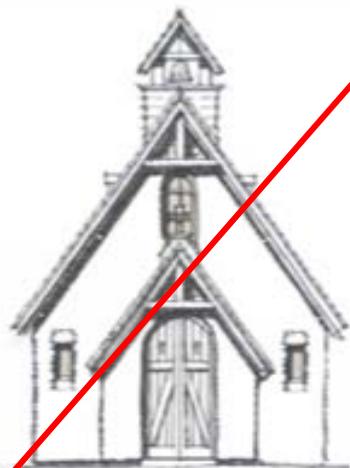


UNIT 8 BLDG C (MIRROR) - FLOOR PLAN  
1/4" = 1'-0"

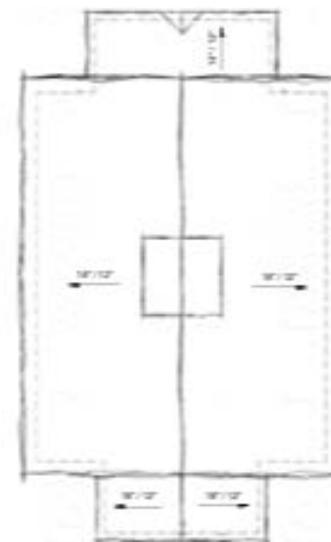




BLDG F - LEFT ELEVATION  
1/8" = 1'-0"



BLDG F - FRONT ELEVATION  
1/8" = 1'-0"

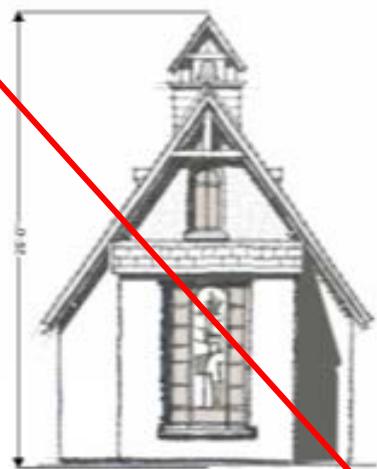


BLDG F - ROOF PLAN  
1/8" = 1'-0"

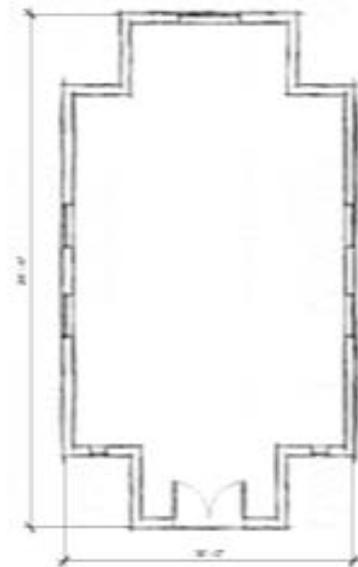
See Exhibit C



BLDG F - RIGHT ELEVATION  
1/8" = 1'-0"



BLDG F - REAR ELEVATION  
1/8" = 1'-0"



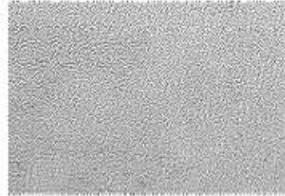
BLDG F - FLOOR PLAN  
1/8" = 1'-0"

## BODY COLOR PALETTE



See Exhibit C

## SIDING PALETTE



Smooth Trowel Plaster Finish



**BUILDING STONE**  
 Manufacturer: Sandstone  
 Manufacturer: Eldorado Stone  
 Model: RoughCut  
 Color: Vineyard Trail



**WALL STONE**  
 Manufacturer: Sandstone  
 Manufacturer: Eldorado Stone  
 Model: River Rock  
 Color: Colorado



**Synthetic Shake**  
 Manufacturer: James Hardie  
 Model: Hardie Shingle Staggered Edge

## ROOFING PALETTE



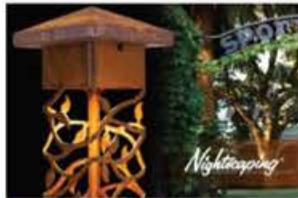
**Synthetic Thatch**  
 Manufacturer: Endureed  
 Model: Somerset



**Synthetic Slate**  
 Manufacturer: Brava  
 Color: Light Arendale



## LIGHTING PALETTE



Bollard Light.  
 Manufacturer: Nightscaping  
 Model: 4x4 Ivy Design, 37" High



Manufacturer: Steven Handelma Studios  
 Model: Misc.

## PAVEMENT MATERIALS



**Permeable Pavers**  
 Manufacturer: Pacific Interlock Pavers  
 Model: Hydro-Flo Rustic Cobble Pavers  
 Color: Painted Desert

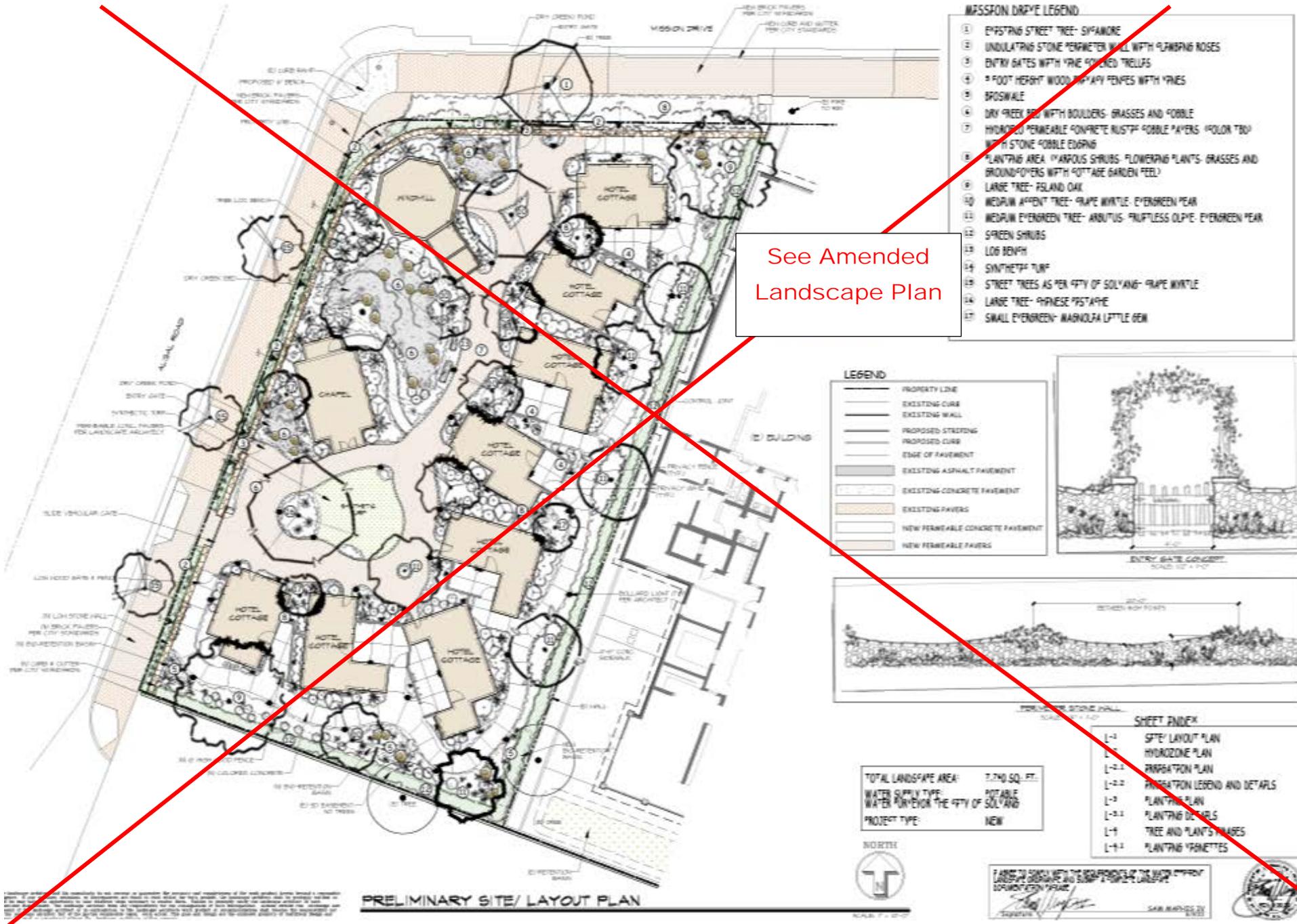


B4 Painted Desert  
 (red/tan/charcoal)



**Color Concrete**  
 Finish: Top Cast/Acid Etch  
 Color: Davis Canyon 160

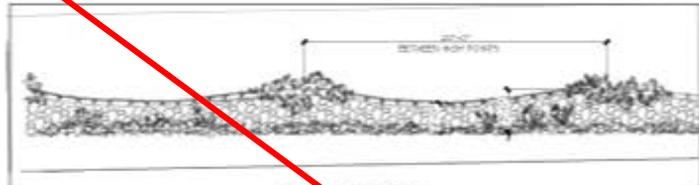
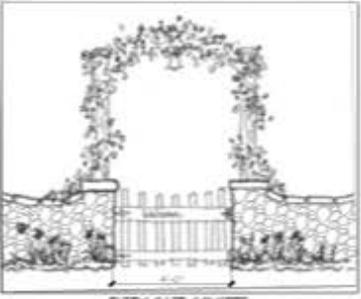




See Amended  
Landscape Plan

- MASSON DRIVE LEGEND**
- 1 EXISTING STREET TREE- SYCAMORE
  - 2 UNDULATING STONE PERIMETER WALL WITH PLANTING ROSES
  - 3 ENTRY GATES WITH WINE SOULDED TRELLIS
  - 4 4 FOOT HEIGHT WOOD TRAPPY FENCES WITH WINES
  - 5 BROOKS
  - 6 DRY CREEK BED WITH BOULDERS- GRASSES AND COBBLE
  - 7 HYDRAULIC PERMEABLE CONCRETE RUSTIC COBBLE PAVERS (POLAR TRD) WITH STONE COBBLE EDGING
  - 8 PLANTING AREA (VARIOUS SHRUBS- FLOWERING PLANTS- GRASSES AND GROUNDCOVERS WITH POTTY GARDEN FEEL)
  - 9 LARGE TREE- ISLAND OAK
  - 10 MEDIUM APPEAL TREE- GRAPE MYRTLE, EVERGREEN PEAR
  - 11 MEDIUM EVERGREEN TREE- ARBUTUS, FRUITLESS OLIVE, EVERGREEN PEAR
  - 12 GREEN SHRUBS
  - 13 LOG BENCH
  - 14 SYNTHETIC TURF
  - 15 STREET TREES AS PER CITY OF SOLVANA- GRAPE MYRTLE
  - 16 LARGE TREE- CHINESE PISTACHE
  - 17 SMALL EVERGREEN- WAXOLVA LITTLE GEM

- LEGEND**
- PROPERTY LINE
  - EXISTING CURB
  - EXISTING WALL
  - PROPOSED STREETING
  - PROPOSED CURB
  - EDGE OF PAVEMENT
  - EXISTING ASPHALT PAVEMENT
  - EXISTING CONCRETE PAVEMENT
  - EXISTING PAVERS
  - NEW PERMEABLE CONCRETE PAVEMENT
  - NEW PERMEABLE PAVERS



**SHEET INDEX**

L-1	SITE LAYOUT PLAN
L-2	HYDROZONE PLAN
L-2.1	IRRIGATION PLAN
L-2.2	IRRIGATION LEGEND AND DETAILS
L-3	PLANTING PLAN
L-3.1	PLANTING DETAILS
L-4	TREE AND PLANT PHASES
L-4.1	PLANTING PHASES

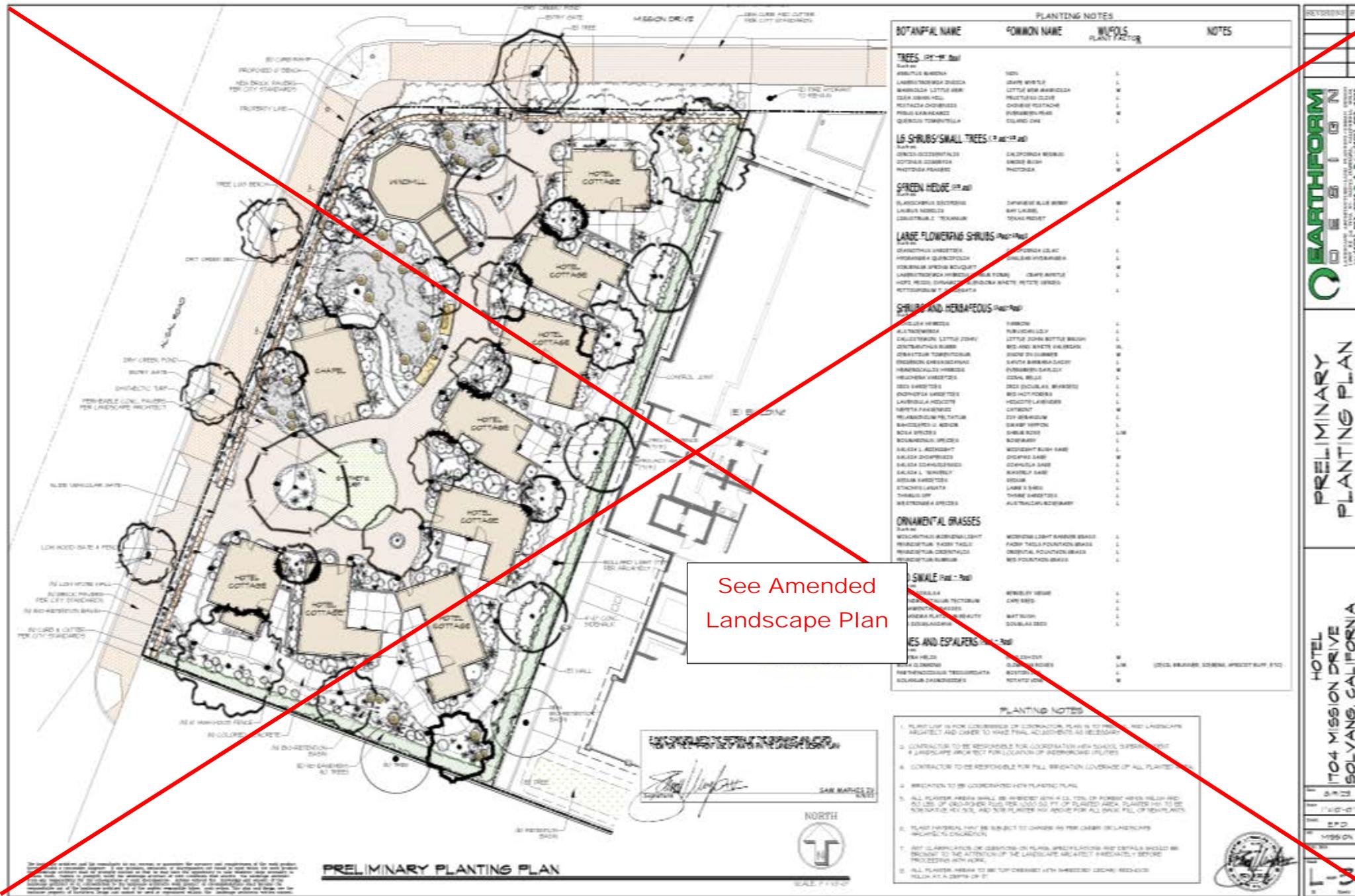
TOTAL LANDSCAPE AREA: 7,740 SQ. FT.  
 WATER SUPPLY TYPE: POTABLE  
 WATER SOURCE: THE CITY OF SOLVANA  
 PROJECT TYPE: NEW



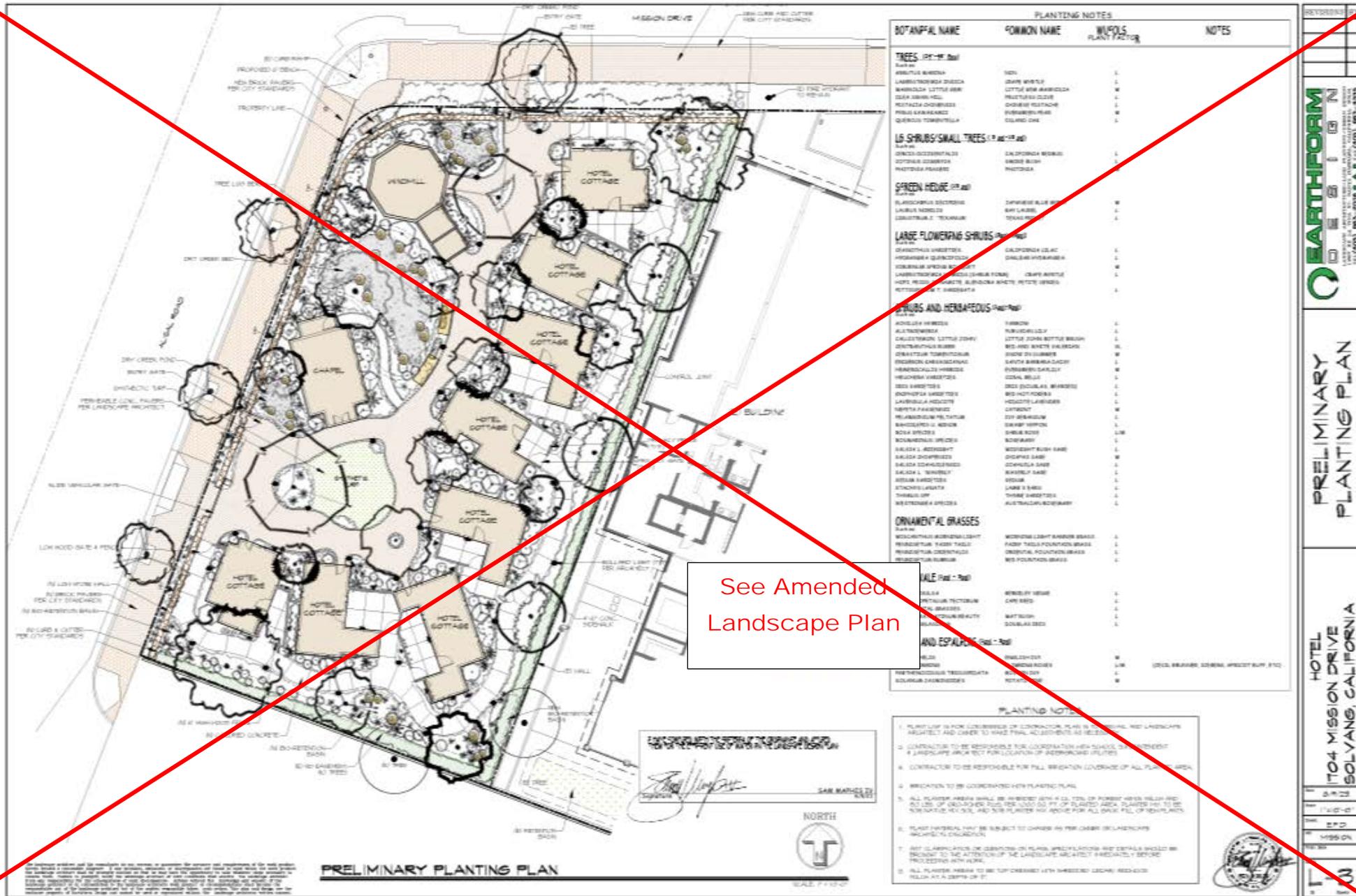
LANDSCAPE DESIGN BY THE DESIGNER OF THE ARCHITECTURAL  
 EXHIBITION PLAN  
 [Signature]  
 SAN MARINO, CA



PRELIMINARY SITE/ LAYOUT PLAN



See Amended  
Landscape Plan



See Amended  
Landscape Plan

REVISIONS

**EARTHFORM**  
DESIGN

PRELIMINARY PLANTING PLAN

HOTEL  
104 MISSION DRIVE  
SOLVANG, CALIFORNIA

DATE: 11/10/10  
SCALE: 1/8" = 1'-0"

**PLANTING NOTES**

BOTANICAL NAME	COMMON NAME	WUCOLS PLANT FACTOR	NOTES
<b>TREES (12" - 18" DBH)</b>			
BURSERA	YUCCA	L	
BRUNELLA	YUCCA	L	
LABURNUM	YUCCA	L	
MAHONIA	YUCCA	L	
SEAL	YUCCA	L	
YUCCA	YUCCA	L	
<b>LS SHRUBS/SMALL TREES (12" - 18" DBH)</b>			
BRUNELLA	YUCCA	L	
YUCCA	YUCCA	L	
YUCCA	YUCCA	L	
<b>SCREEN HEDGES (12" - 18" DBH)</b>			
BRUNELLA	YUCCA	L	
YUCCA	YUCCA	L	
YUCCA	YUCCA	L	
<b>LARGE FLOWERING SHRUBS (12" - 18" DBH)</b>			
BRUNELLA	YUCCA	L	
YUCCA	YUCCA	L	
YUCCA	YUCCA	L	
<b>SHRUBS AND HERBACEOUS (12" - 18" DBH)</b>			
BRUNELLA	YUCCA	L	
YUCCA	YUCCA	L	
YUCCA	YUCCA	L	
<b>ORNAMENTAL GRASSES</b>			
BRUNELLA	YUCCA	L	
YUCCA	YUCCA	L	
YUCCA	YUCCA	L	
<b>PALE (12" - 18" DBH)</b>			
BRUNELLA	YUCCA	L	
YUCCA	YUCCA	L	
YUCCA	YUCCA	L	
<b>AND ESPALMOS (12" - 18" DBH)</b>			
BRUNELLA	YUCCA	L	
YUCCA	YUCCA	L	
YUCCA	YUCCA	L	

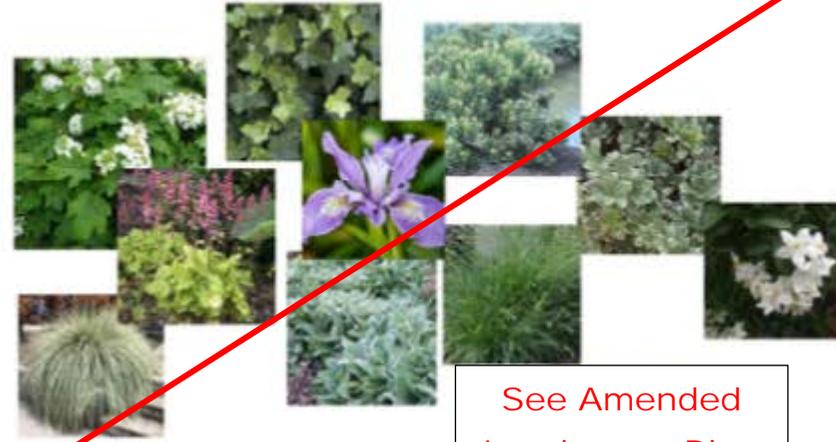
- PLANTING NOTES**
1. PLANTING SHALL BE RESPONSIBLE FOR COORDINATION WITH ARCHITECT AND LANDSCAPE ARCHITECT AND OWNER TO MAKE FINAL ADJUSTMENTS AS NECESSARY.
  2. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION WITH ARCHITECT AND LANDSCAPE ARCHITECT FOR LOCATION OF PLANTINGS.
  3. CONTRACTOR TO BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANTING AREA.
  4. IRRIGATION TO BE COORDINATED WITH PLANTING PLAN.
  5. ALL PLANTING SHALL BE IN ACCORD WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND ORDINANCES. ALL PLANTING SHALL BE IN ACCORD WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND ORDINANCES.
  6. PLANT MATERIAL SHALL BE SUBJECT TO CHANGE AS PER OWNER'S DISCRETION.
  7. ALL PLANTING SHALL BE IN ACCORD WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND ORDINANCES.
  8. ALL PLANTING SHALL BE IN ACCORD WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND ORDINANCES.



PLANTING VIGNETTES



STREET SCAPE



COTTAGE SHADE PLANTINGS - EXAMPLES

See Amended Landscape Plan



BIOSWALL / DRY CREEK BED



COTTAGE SUN PLANTINGS - EXAMPLES

The landscape architect and his consultants do not warrant or guarantee the accuracy and completeness of the work products...



REVISIONS


**EARTHFORM DESIGN**  
LANDSCAPE ARCHITECTS  
11111 WILSON AVENUE, SUITE 100  
SOLVANG, CALIFORNIA 93288  
TEL: (805) 961-2016 FAX: (805) 961-8335

**PLANTING VIGNETTES**

HOTEL  
1704 MISSION DRIVE  
SOLVANG, CALIFORNIA

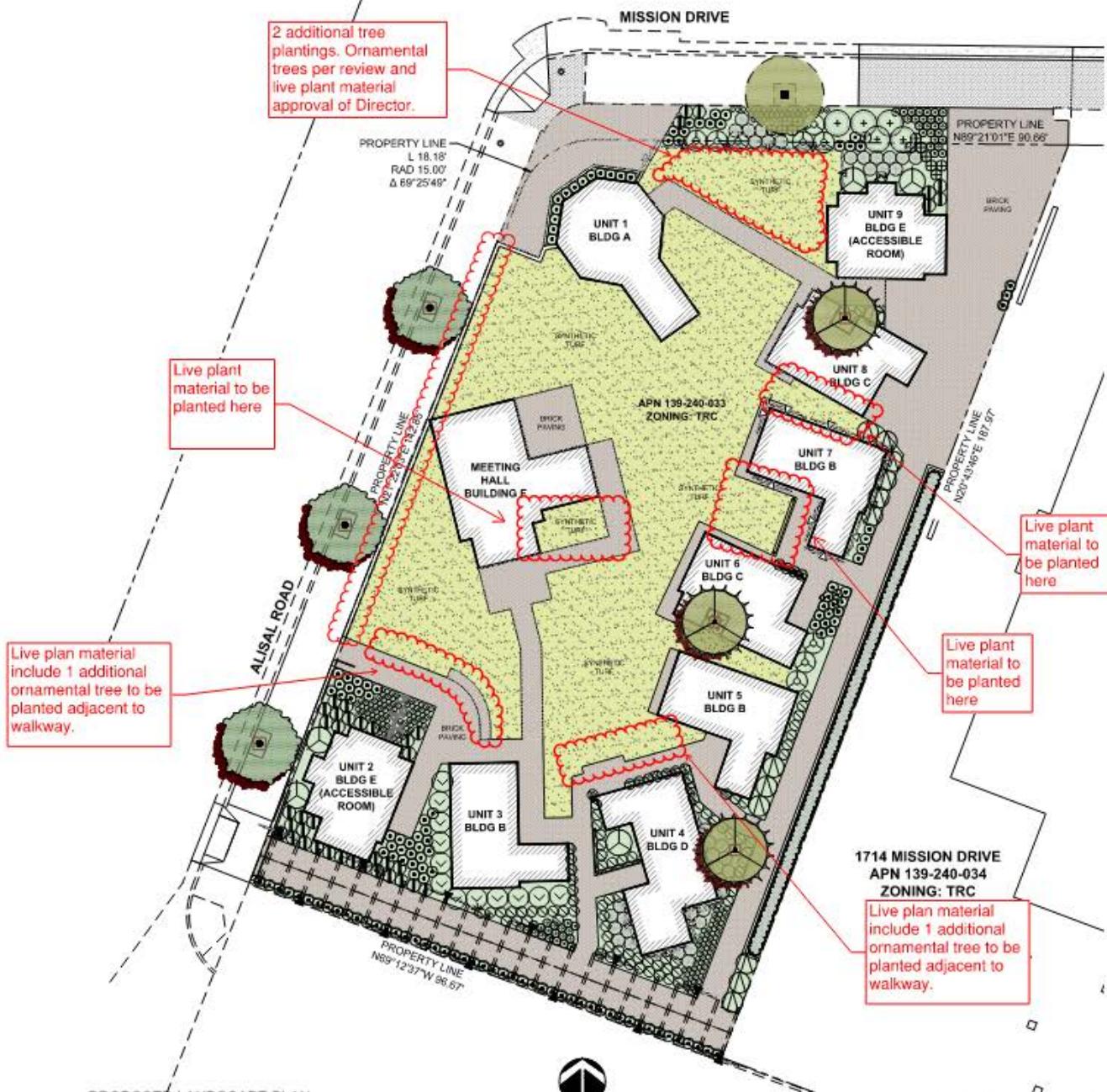
DATE: 1/15/15  
SCALE: 1/8" = 1'-0"

**4**

**PLANTING LEGEND:**

SYMBOL CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
<b>TREES</b>						
	Existing Tree					
	<i>Platanus x acerifolia</i>	London Plane Tree	24" Box	As Shown	Standard	L
	<i>Laguncularia indica</i>	Crape Myrtle	24" Box	As Shown	Standard	L
<b>SHRUBS</b>						
	<i>Laguncularia indica 'Muniba'</i>	Potted Pink Crape Myrtle	15 Gal.	60" O.C.		L
	<i>Strobilata reginae</i>	Bird of Paradise	5 Gal.	48" O.C.		L
	<i>Rhopileta umbellata 'Minor'</i>	Dwarf Yucca Hawthorn	5 Gal.	48" O.C.		L
	<i>Polygala x contraria</i>	Sweet Pea Shrub	5 Gal.	48" O.C.		L
	<i>Pittosporum tobira 'Shiro'</i>	Cream De Mondo Dwarf Pittosporum	1 Gal.	30" O.C.		L
	<i>Narcissus domestica 'Nana'</i>	Dwarf Heavenly Bamboo	1 Gal.	30" O.C.		L
	<i>Agapanthus 'Polar Plan'</i>	Dwarf Lily of the Nile	1 Gal.	24" O.C.		L
	Hemerocallis spp.	Daylily	1 Gal.	24" O.C.		L
	<i>Salvia x 'Balsamita'</i>	Myrtle Spines Blue Salvia	1 Gal.	24" O.C.		L
<b>GROUND COVER</b>						
	<i>Tradescantium jasminifolium</i>	Star Jasmine	1 Gal.	60" O.C.		L
	<i>Cero. divisa</i>	Berkeley Sedge	6" Pot	18" O.C.		L
	Achillea spp.	Yarrow	4" Pot	12" O.C.		L
<b>VINES</b>						
	<i>Wisteria sinensis</i>	Chinese wisteria	1 Gal.	As Shown		L
	<i>Ficus pumila</i>	Creeping Fig	1 Gal.	As Shown		L
	<i>Tradescantium jasminifolium</i>	Star Jasmine	1 Gal.	As Shown		L
<b>Herbs</b>						
	Herbs per owner					

Amended  
Landscape Plan  
with notations



PROPOSED LANDSCAPE PLAN

SCALE: 1" = 10'  
NORTH





**ON design LLC**  
Architectural  
Landscape  
Interior Design

Kath Nolan  
C-22451

---

**ON design LLC**  
P.O. Box 568 • Santa Barbara • California • 93102

---

**1704 MISSION HOTEL**  
1704 Mission Drive  
Solvang, CA 93463  
PRELIMINARY LANDSCAPE PLAN

---

Project Manager	
Drawn By	
Scale	
Plant Date	

---

L-1.0

## PLANTING LEGEND:

SYMBOL  
CALLOUT BOTANICAL NAME  
COMMON NAME  
SIZE  
SPACING  
COMMENTS  
WATER USE

SYMBOL	CALLOUT BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
	Existing Tree					
	<i>Platanus x acerifolia</i>	London Planetree	24" Box	As Shown	Standard	L
	<i>Lagerstroemia indica</i>	Crape Myrtle	24" Box	As Shown	Standard	L

Amended  
Landscape Plan  
with notations

### SHRUBS

	<i>Lagerstroemia indica</i> 'Monkie'	Pefite Pinkie Crape Myrtle	15 Gal.	60" O.C.	-	L
	<i>Strelitzia reginae</i>	Bird of Paradise	5 Gal.	48" O.C.	-	L
	<i>Rhaphiolepis umbellata</i> 'Minor'	Dwarf Yeddo Hawthorn	5 Gal.	48" O.C.	-	L
	<i>Polygala x dalmatiana</i>	Sweet Pea Shrub	5 Gal.	48" O.C.	-	L
	<i>Pittosporum tobira</i> 'Shima'	Cream De Mint® Dwarf Pittosporum	1 Gal.	30" O.C.	-	L
	<i>Nandina domestica</i> 'Nana'	Dwarf Heavenly Bamboo	1 Gal.	30" O.C.	-	L
	<i>Agapanthus</i> 'Peter Pan'	Dwarf Lily of the Nile	1 Gal.	24" O.C.	-	L
	<i>Hemerocallis</i> spp.	Daylily	1 Gal.	24" O.C.	-	L
	<i>Salvia x 'Balsalmisp'</i>	Mystic Spires Blue Salvia	1 Gal.	24" O.C.	-	L

### GROUNDCOVER

	<i>Trachelospermum jasminoides</i>	Star Jasmine	1 Gal.	60" O.C.	-	L
	<i>Carex divulsa</i>	Berkeley Sedge	6" Pot	18" O.C.	-	L
	<i>Achillea</i> spp.	Yarrow	4" Pot	12" O.C.	-	L

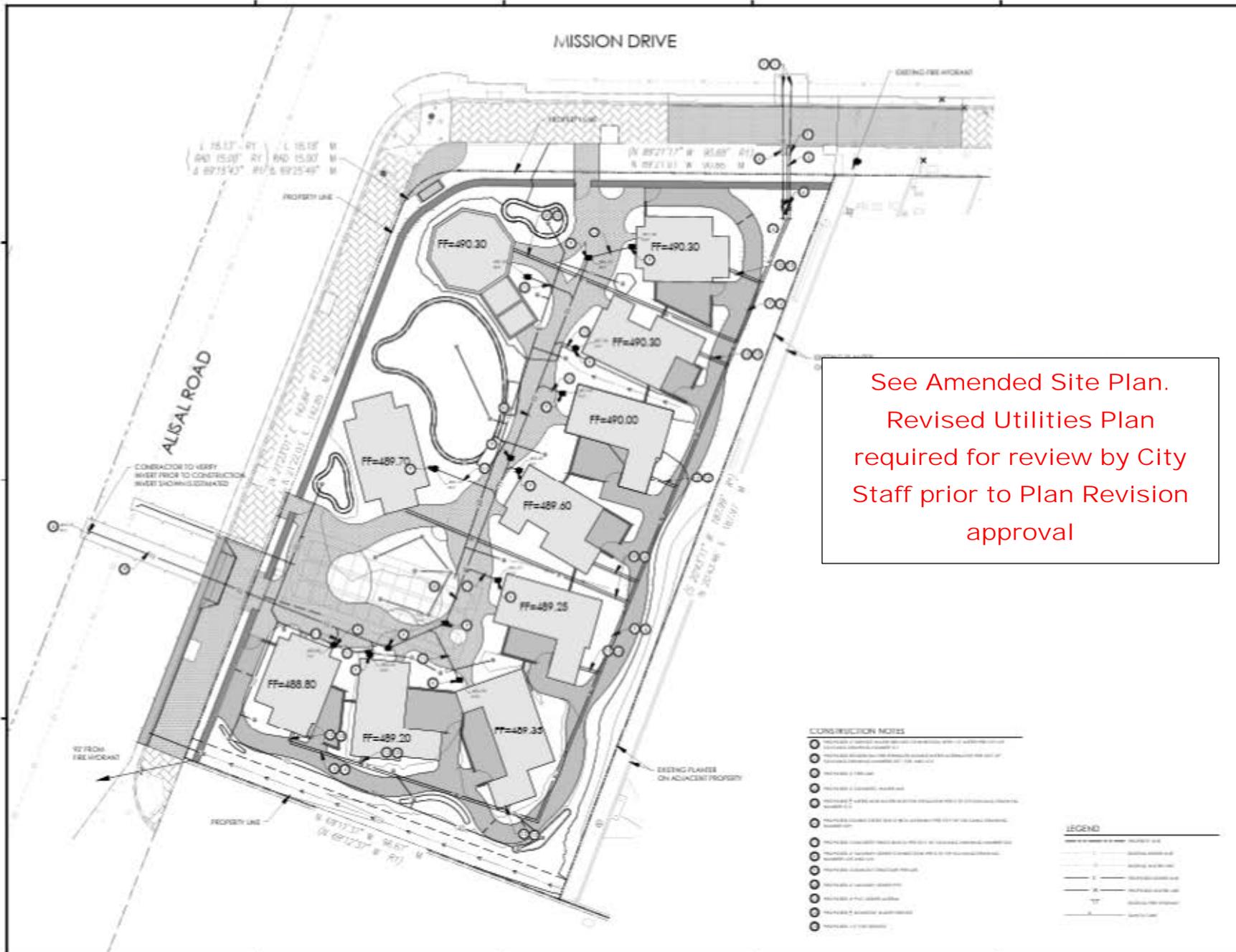
### VINES

	<i>Wisteria sinensis</i>	Chinese wistaria	1 Gal.	As Shown	-	L
	<i>Ficus pumila</i>	Creeping Fig	1 Gal.	As Shown	-	L
	<i>Trachelospermum jasminoides</i>	Star Jasmine	1 Gal.	As Shown	-	L

### Herbs

Herbs per owner





See Amended Site Plan.  
 Revised Utilities Plan  
 required for review by City  
 Staff prior to Plan Revision  
 approval

- CONSTRUCTION NOTES**
- 1. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 2. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 3. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 4. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 5. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 6. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 8. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 9. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).
  - 10. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GAS CODE (CGC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA INTERNATIONAL BUILDING CODE (CIBC).

**LEGEND**

Symbol	Description



**HOTEL**  
 1704 / MISSION DRIVE, SOLVANG, CA  
 PRELIMINARY UTILITY PLAN

Rev.	Description	Date

PROJECT ENGINEER  
 MICHAEL HANCOCK  
 DRAWN BY  
 GMS  
 CHECKED BY  
 ENCH  
 DATE  
 AUGUST 7, 2020  
 PROJECT NUMBER  
 2024-01-C028  
 SHEET  
 C-3.0