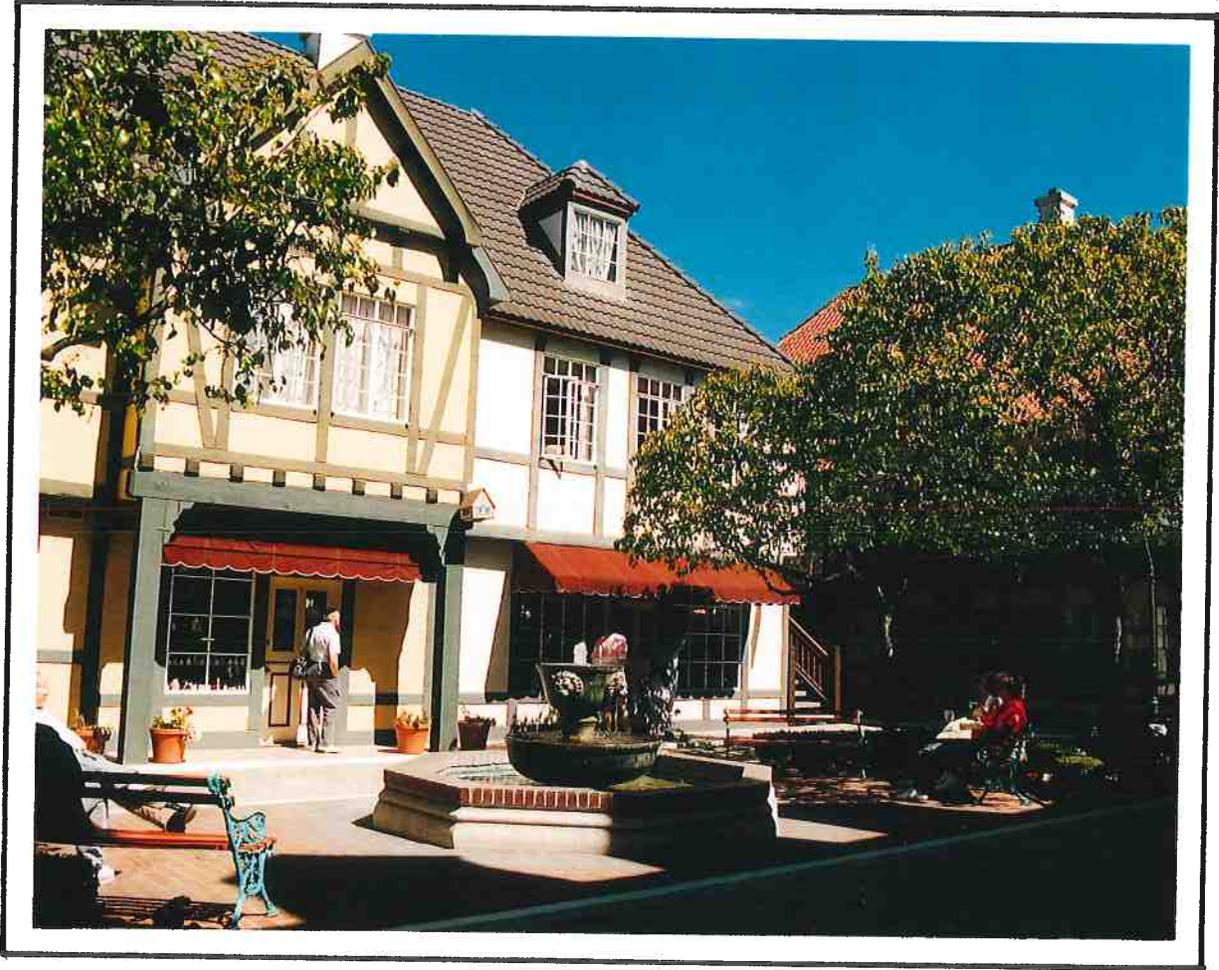


DESIGN GUIDELINES



CITY OF SOLVANG BOARD OF ARCHITECTURAL REVIEW

THE PHOTOGRAPHS AND SKETCHES
IN THIS PUBLICATION ILLUSTRATE
THE INTENT OF THESE GUIDELINES.

VARIATION AND CREATIVITY ARE
ENCOURAGED, WHILE ACHIEVING
COMPLIANCE.



TABLE OF CONTENTS

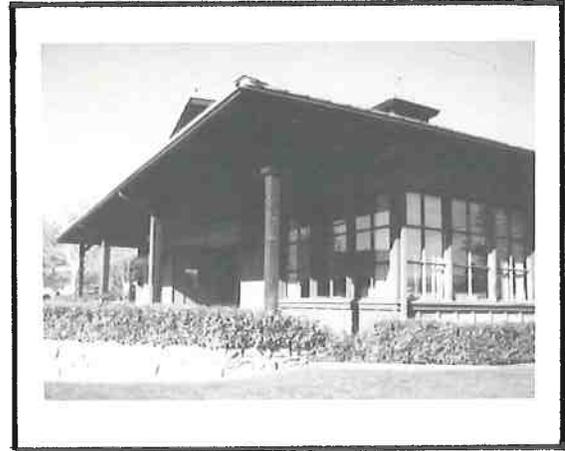
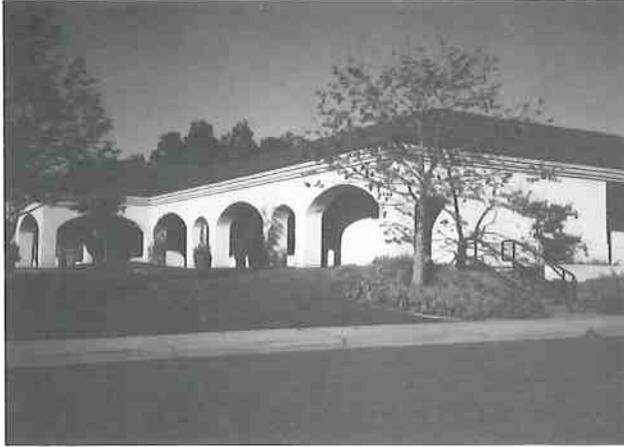
- I. INTRODUCTION
- II. PROJECTS REQUIRING
B.A.R. REVIEW
- III. VILLAGE AREA
- IV. CITY AT LARGE



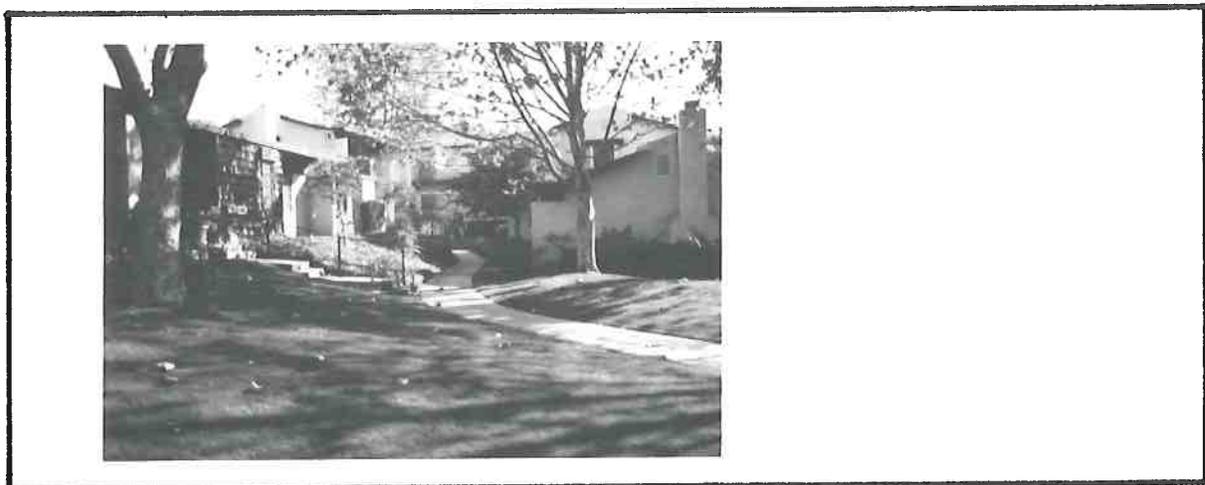
1. INTRODUCTION:

The City of Solvang is a unique community. It is not typical of most communities in terms of its historic past, ethnic composition, architectural heritage and tourist oriented economic base. It is a community of residents and business people who are very interested, active and concerned about the future of Solvang. Interwoven in the fabric of the community is the desire to preserve, protect and promote the unique Danish and Northern European design theme so prevalent in the Downtown/Village area where the automobile is secondary to the pedestrian. It has been a common understanding that preserving and perpetuating the architectural charm of the area will enhance the social and economic base of the community.





Additionally, there are other commercial, office and residential areas within the City but outside the Downtown Village Area of which require attention with respect to community aesthetics. In these areas, the Danish/Northern European design theme is discouraged in order to ensure a strong contrast and maintain the Village as a unique and contained experience. In recognition of these two (2) distinct areas, these guidelines are in two (2) parts. The theme Village area, which is defined on the attached map, and the City at large. These guidelines are intended to provide the builders of the community with a set of measures which will serve to provide the residents and visitors with the highest standard and quality of design and appearance possible.



II. PROJECTS REQUIRING B.A.R. REVIEW

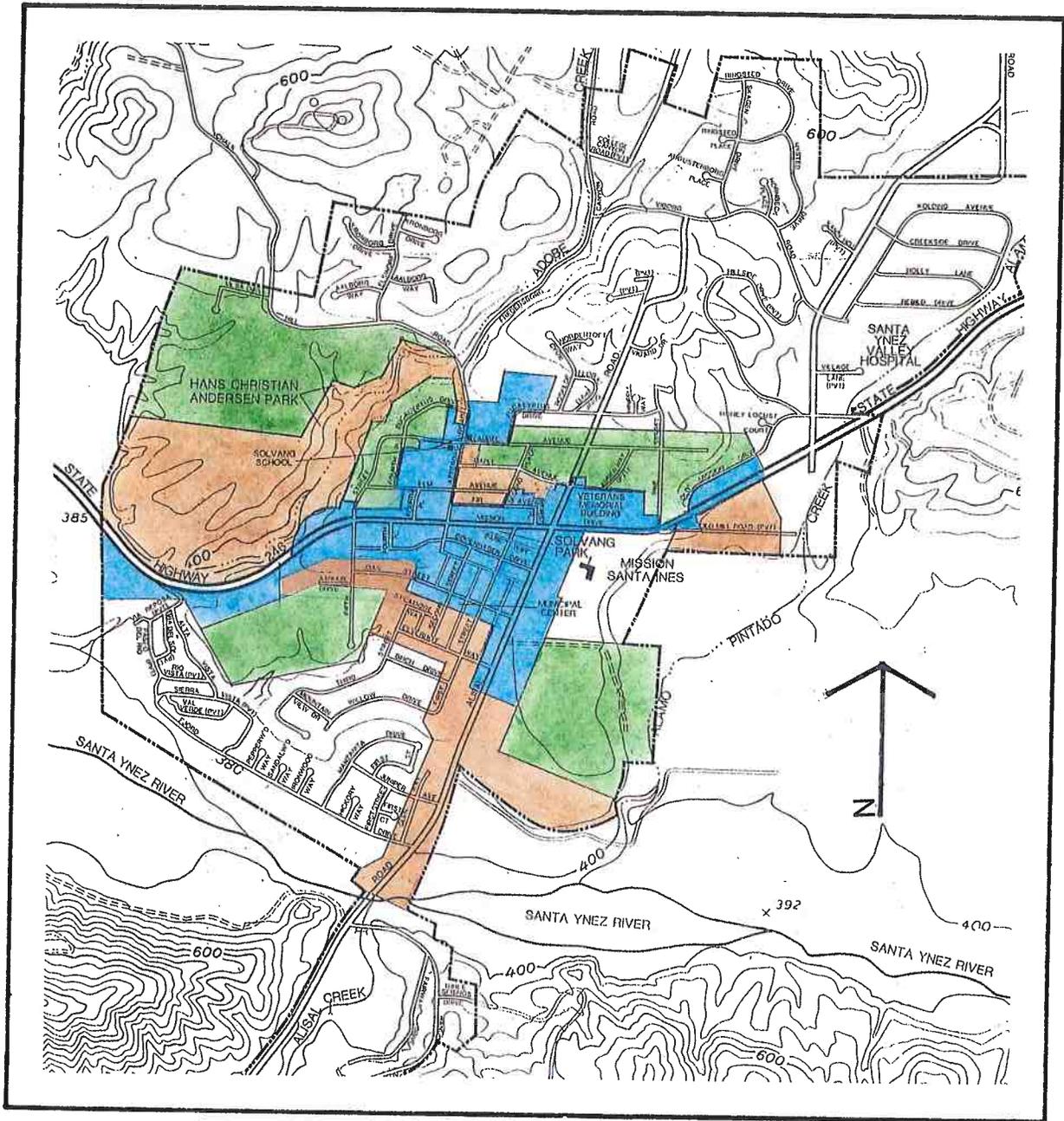
A. Commercial, Office and Industrial Development:

1. All new development and accompanying landscape plans.
2. All additions to existing buildings and landscaping that is for the addition.
3. All roof material change.
4. All exterior remodels that require a permit.
5. All signs except those that can be reviewed by the City Planner outlined in Sections III.E.3. and IV.B.3.
6. All exterior color and materials for new structures and remodels.
7. All public improvement plans.

B. Residential Development:

1. Village Area and Visual Corridors as Shown on the Attached Map:
 - a. All new development and accompanying landscaping plans.
 - b. All exterior colors and materials for new structures and remodels.
 - c. All public improvements.
2. City at Large:
 - a. Multiple family housing projects.
 - b. Single family development only if such development falls within any of the following categories.
 1. Constructed as part of a tract development and specifically referred to the BAR as part of the project conditions.
 2. City designated affordable housing projects.

III. THE VILLAGE AREA



BAR review required. Compliance with design guidelines mandatory.



BAR review required. Compliance with design guidelines is encouraged.



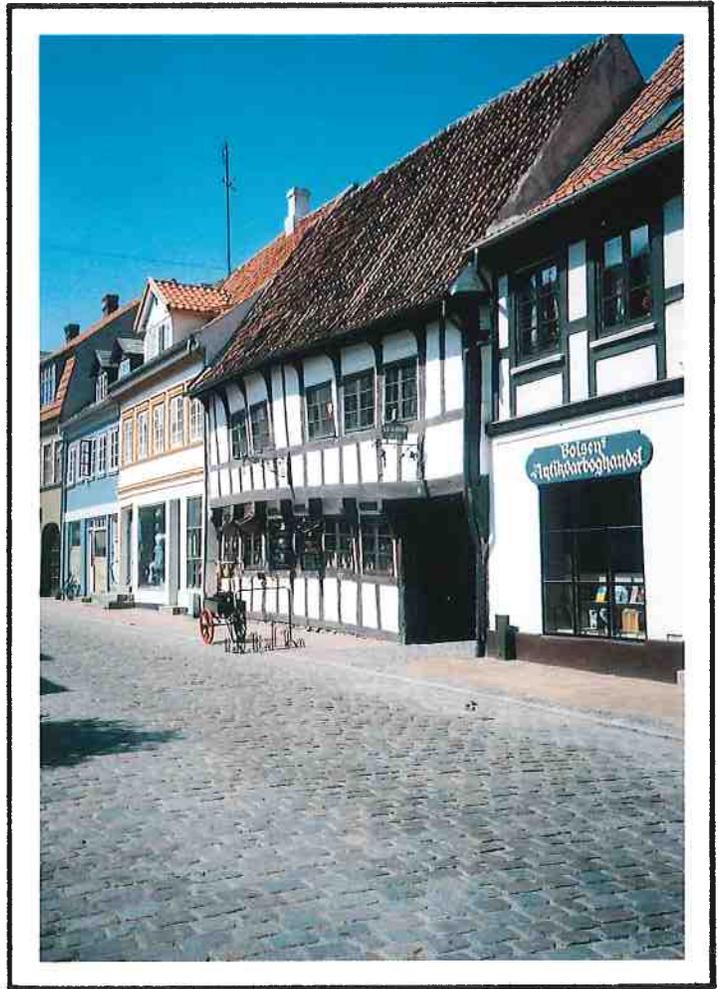
BAR review not required unless required by ordinance or referral. Compliance with design guideline is permissive with roof line silhouette encouraged.



A. Exterior Appearance:

1. New construction within the Village area shall be within the traditional and historic Danish theme or design vernaculars of eighteenth century, half timbered buildings which are found in Denmark or neighboring northern European countries. Remodels or additions to existing buildings which are not designed in Northern European design vernaculars may be remodeled within their particular motif if determined appropriate by the BAR or if the building is designated to be of historic or architectural importance.

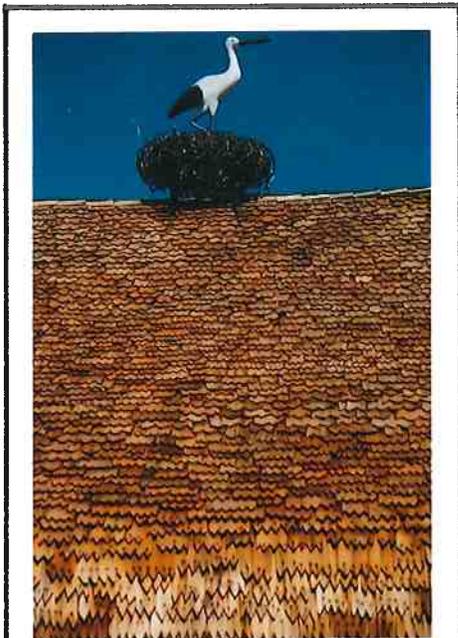






2. Buildings should be oriented to the dominant street by presenting some window and/or door openings on the street elevations.
3. All exterior elevations shall be integral to the traditional design theme stated in number 1, above. Buildings should demonstrate compatibility in materials and consistency in style throughout all elevations.
4. Roofs and dormers shall be steep in pitch. 14:12 (vertical:horizontal) pitch for building roofs and 20:12 pitch for tower elements as a minimum. 12:12 pitches are acceptable for thatched type roofs if thatched roofs are found to be appropriate by the BAR. Other roof pitches or flat roof areas are appropriate if such areas are limited in size and if it can be demonstrated that such treatments are traditional and necessary for the overall design of the building.
5. The type and color of roofing material is subject to review and approval by the BAR. Real slate or thatched roof materials are acceptable. Tile roofs may be clay or concrete. The tile color is to be approved by the B.A.R. The roof tile designs must be consistent with Danish roof tile designs consisting of larger flat pans with a small barrel. Metal roofs must be constructed with panels with a standing seam and appear to have been oxidized from copper to green, giving a patina of age.

Other types of roofing materials that simulate the preceding materials may be used if approved by the B.A.R. The use of composition roofing is permitted if it emulates the appearance of authentic historic materials. The B.A.R. has the discretion of approving composition materials if such materials are found to be consistent with the architectural design and integrity of the buildings. The use of such materials shall further the architectural appearance and integrity of the building as it relates to the building's location on the site and its surroundings.



THIS TYPE OF WOOD SHINGLE ROOFING MAY BE INSTALLED AS REPLACEMENT ONLY ON BUILDINGS ALREADY HAVING SUCH ROOFING. CONSULT WITH THE PLANNING DEPARTMENT.





6. The use of dormer windows may be required where considered to be traditionally appropriate. Dormers must be in character with overall building design.

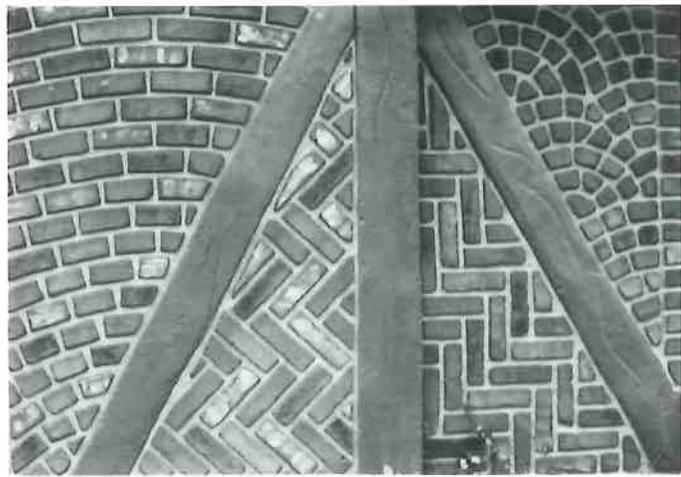
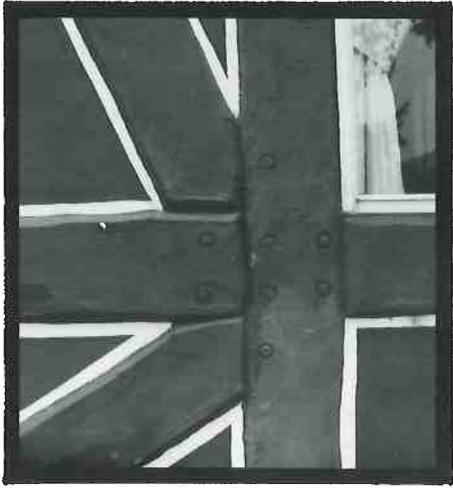


7. One and one-half (1-1/2) to two and one-half (2-1/2) story walls with variations within the development are encouraged. The bulk and height of the building should be oriented toward the street with elevations to complement the surrounding streetscape.

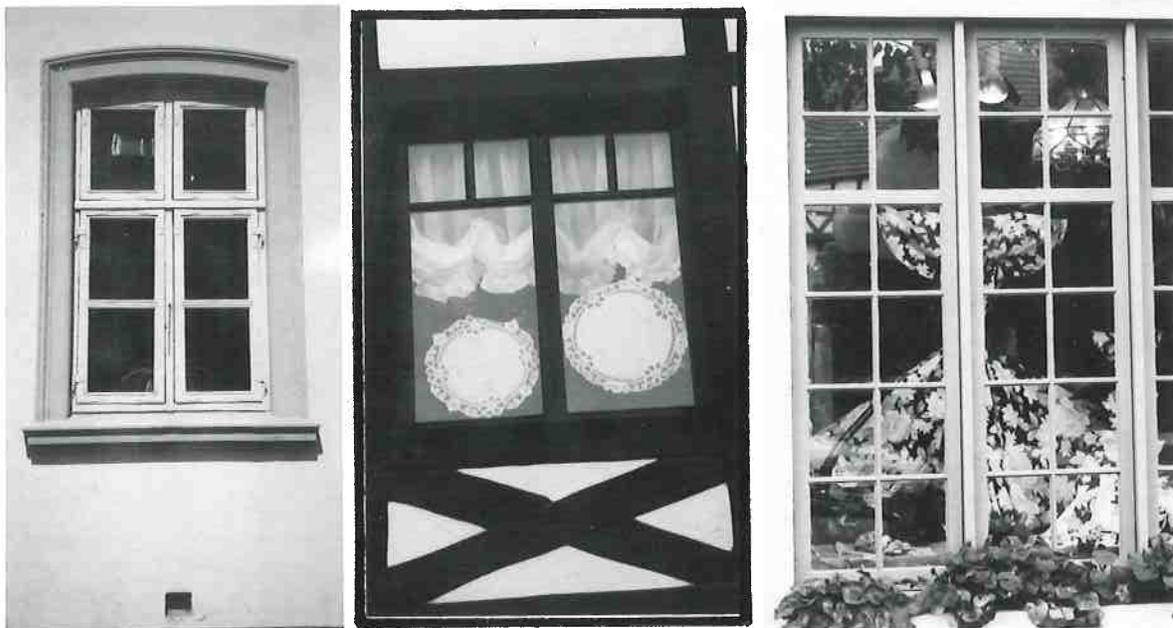


8. The use of canvas awnings over doors and windows is encouraged where appropriate. Such awnings shall be of a solid color with or without piping and accent stripes. Awnings shall have a minimum 4:12 pitch, open ended with a straight or slightly scalloped valance. Valances shall not exceed 8-1/2 inches in depth. Any alteration or deviation from this standard will be considered if found to be traditionally appropriate to the architecture of the building. The use of the awning valance for signing is encouraged.

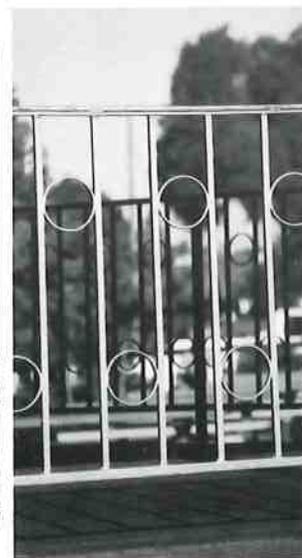


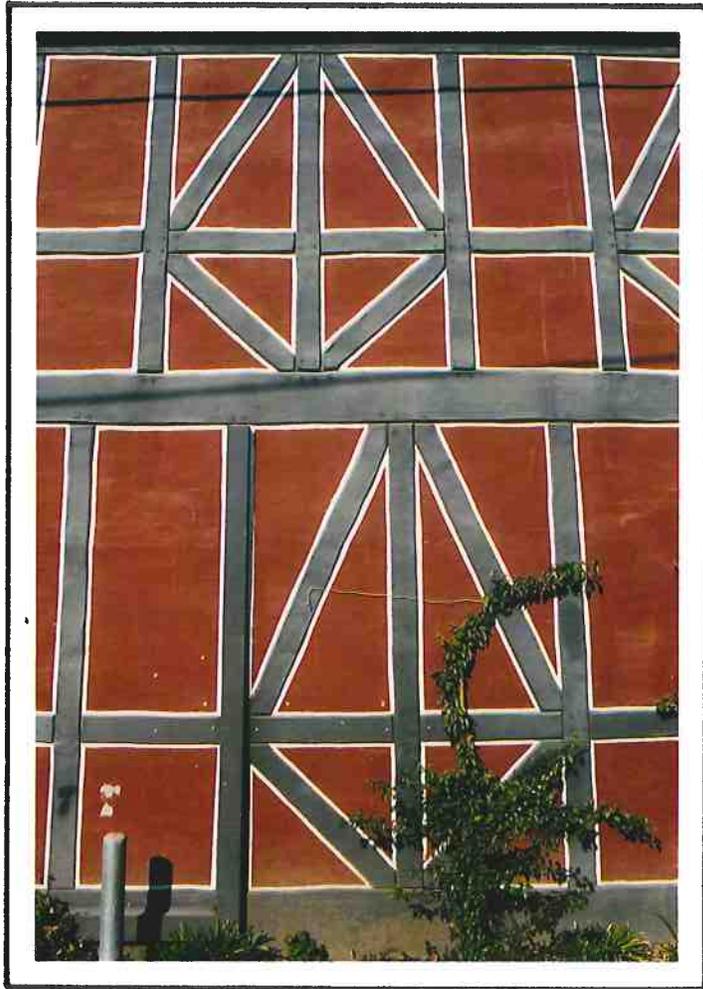


9. Attention to detail is of significant importance. Lighting fixtures, gates, exterior window treatments, use of materials and color must be considered relative to traditional authenticity and detail. The use of potted plants is encouraged.



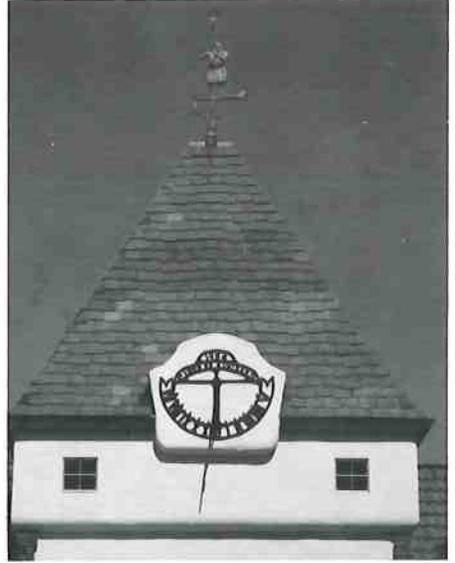
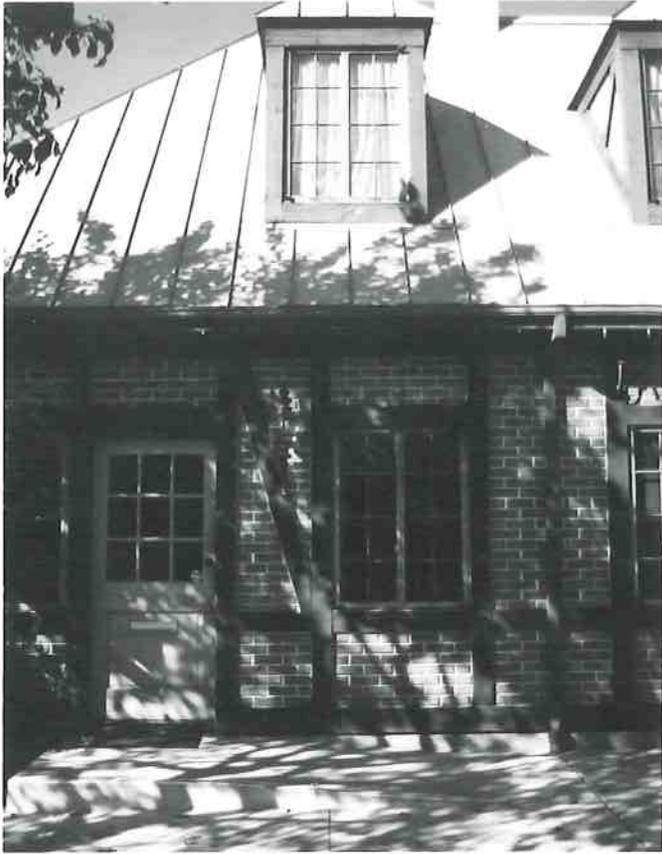
10. Windows must be divided into panes, with horizontal and vertical painted mullions, not anodized. Windows shall be deep set to maintain the appearance of thick walls. Window to wall ratios shall emulate that found in traditional Danish storefronts
11. Roof or mechanical equipment or satellite dishes shall not be visible from ground or second story levels. Such equipment shall be screened in a method consistent and integral with the overall architectural appearance of the structure.
12. The use of wrought iron rather than tubular steel is required for handrails, balconies, sign brackets, etc. Such wrought iron shall be painted. No anodized finishes are permitted

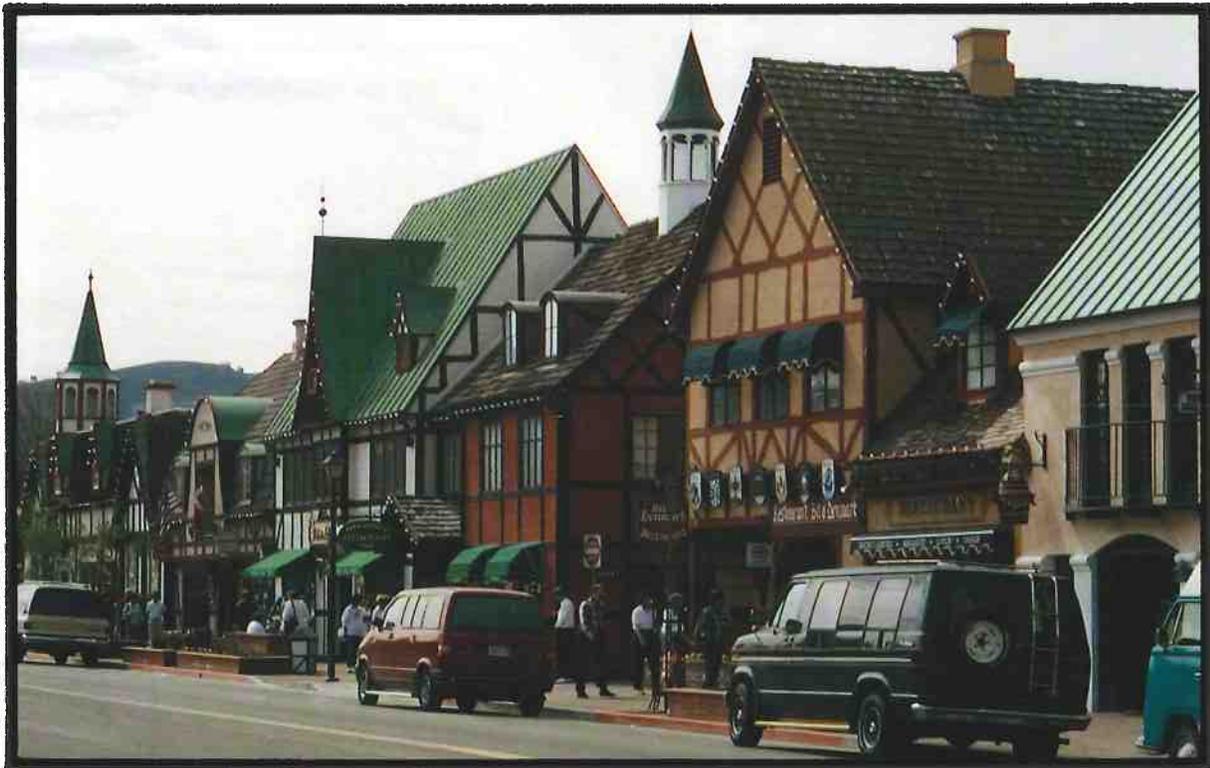




13. 1/2 timbering (bindingsvaerk) or other methods to emulate 1/2 timbering may be required and where used, it shall be demonstrated that the use emulates the authentic appearance and pattern of historic buildings in Europe.
14. Buildings shall be designed so that the 1/2 timbering (bindingsvaerk) is darker in color to contrast and resemble the finish of traditional old world buildings. Balance of building color subject to Board Approval. Building details and accessories such as doors and window trims should be in bright lively colors.







B. Siting:

1. The BAR encourages the waiver of the front setback requirements (except along Mission Drive). Buildings shall be located as close to the street as possible and up to the front property line.
2. New buildings along Mission Drive shall be located up to the required front setback line. New buildings along other streets shall be located up to the front property line, assuming approval of a Modification by the Planning Commission. Setback variations permitting pedestrian access and visual interest are encouraged.

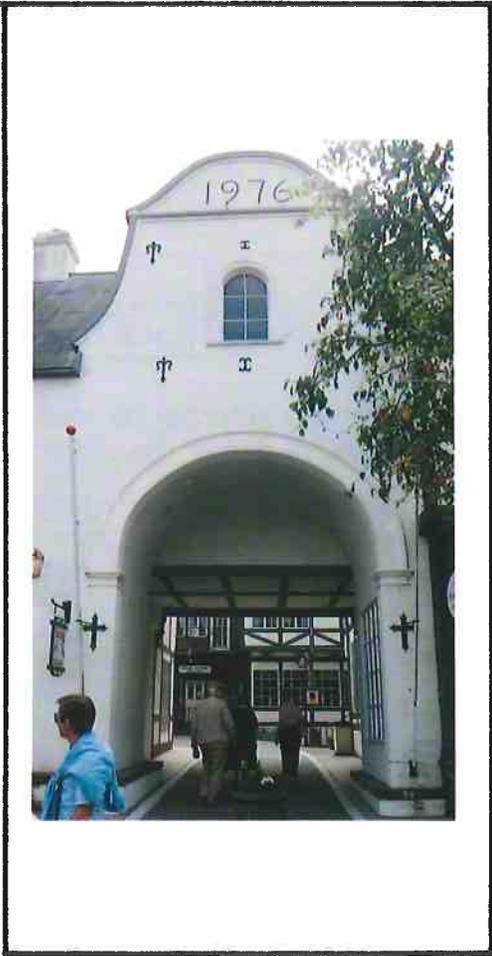


3. Vehicular access to parking areas from the primary street where access is available from an alley, easement, or a secondary street is not permitted unless for a hotel. This is in order to enhance the pedestrian experience and maintain the street frontages for retail space. Where access from a street is permitted, the appearance at the point of access must be designed to integrate visually with the Village design theme. The following standards shall generally apply where such access is considered:
 - a. Where a driveway is provided, it must be covered with a roof or building element. The location of this portion of the building can be varied relative to the front of the other parts of the structure to promote adequate visibility for safety purposes exhibit "U".
 - b. Such access should be one-way only from the principal street in order to maintain as narrow an opening as possible, so as not to distract from the shop space and the traditional characteristic of the building. Such openings should not be located side by side on adjacent properties.

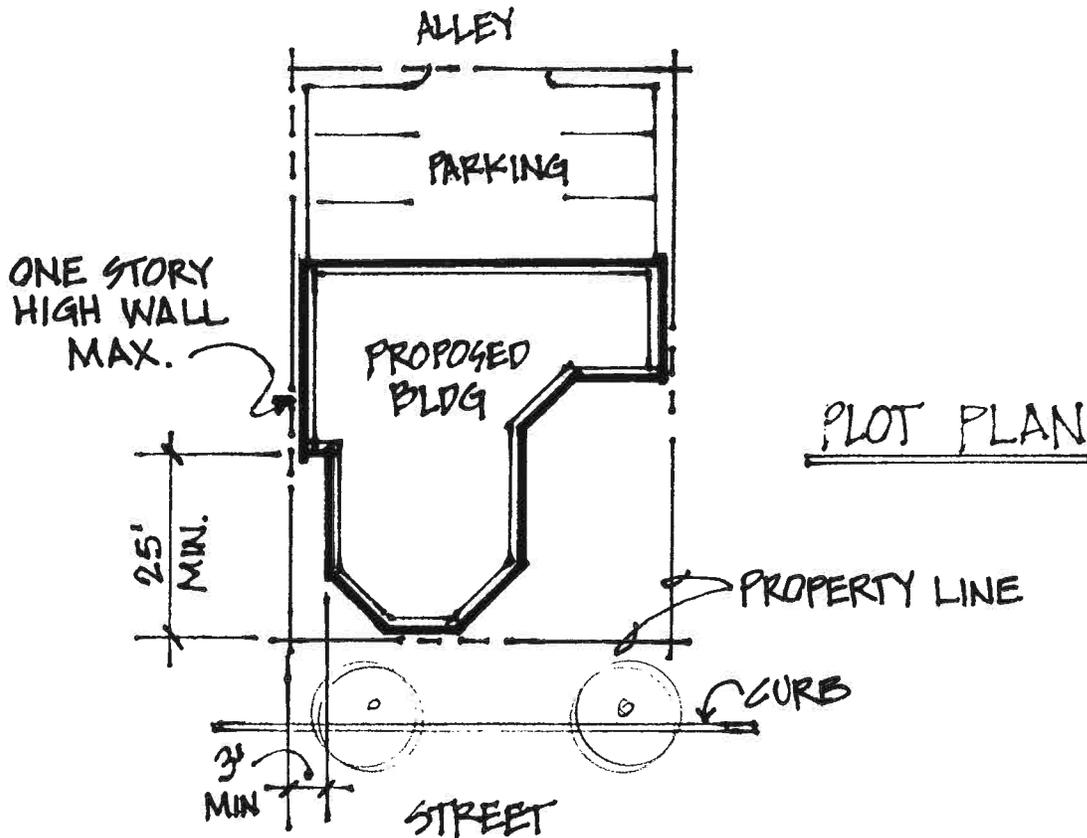


4. Parking shall not be located or oriented to the front of buildings and shall be screened from the primary street.
5. Wherever parking is provided and viewed from a secondary street or alley, it shall be screened from view with a minimum four (4) foot high solid wall or fence and dense landscaping.
6. The BAR is encouraging the City Council to create alternatives to on-site parking, therefore development plans should be expandable onto parking areas once on-site parking is not required. The site may be used for additional shop space or people area.
7. On corner lots, buildings shall be sited to the front corner of the lot with continuous elevations on the full length of the dominant street and major portions of the secondary street.
8. On double frontage lots, the building shall be sited toward the dominant street(s). If a waiver of the required parking is granted by the City Council, the building shall be sited toward both streets.

9. The BAR encourages proposed projects to be pedestrian oriented. Developments are also encouraged to provide internal pedestrian space and/or walkways and openings from the street.

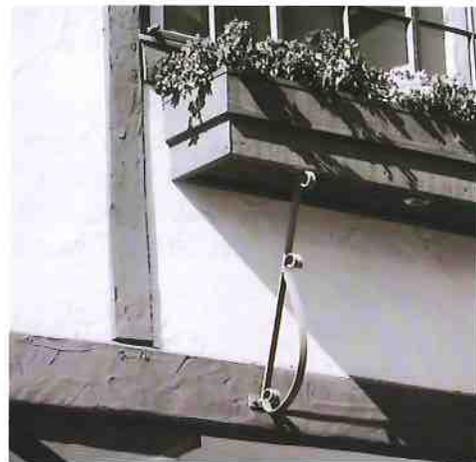


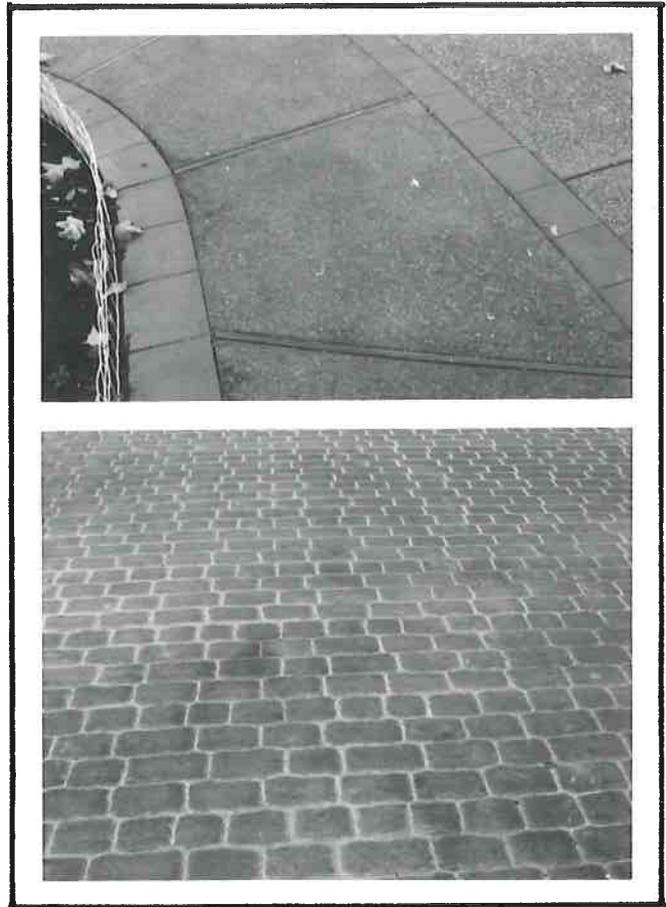
10. The use of large blank parapet walls on the side property lines creates a visual blight on the community. To limit and avoid their use, wherever such walls are necessary, they shall be designed with the following limitations (Standards apply where no parapet wall exists on adjacent property):
- Blank walls along the side property lines (parapet walls) shall be set back from the front property line a minimum of twenty five (25) feet.
 - Where there is an alley, parapet walls shall be set back from the rear property line at least (10) feet .
 - Where there is no alley or access easement, no set back is required from the rear property line.
 - The length of parapet walls shall not exceed fifty percent (50%) of the length of the side property line.
 - The portion (s) of the building which is not on the side property line shall be setback a minimum of three (3) feet.
 - The blank wall section shall not be greater than one(1) story in height and must be designed as an integral part of the architecture of the building. Therefore, horizontal parapet configurations are encouraged where the parapet does not extend above the roof at the point where the parapet intersects the roof.



C. Landscaping / Paving:

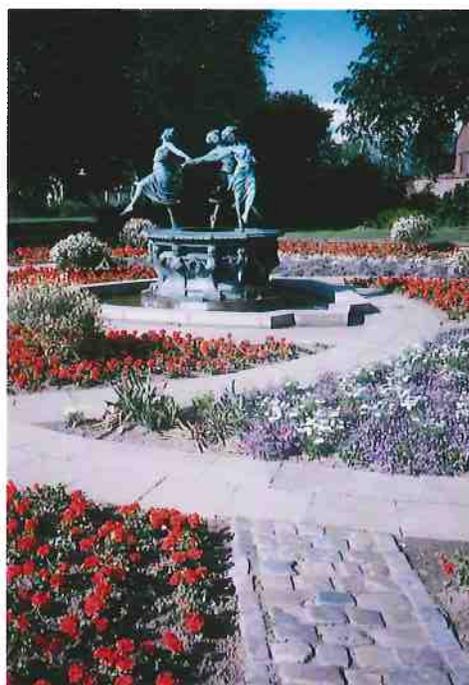
1. Landscaping should present a unified appearance with respect to plant species and tree massing. In creating a unified appearance, existing landscaping on surrounding properties should be taken into consideration.
2. On site tree species should be coordinated with the designated street tree for the area, so as to present a compatible appearance.
3. Vivid color and flowering plants, shrubs, trees and vines are encouraged. Artificial plants, shrubs, trees, and vines are prohibited.
4. The use of flowers, especially planted in pots, boxes, window boxes, hanging boxes, and hanging baskets is encouraged. Window boxes under second floor windows are encouraged. The use of plastic for pots, boxes, and baskets is prohibited. An appropriate maintenance program should be considered (i.e. recommend the use of a drip irrigation system).



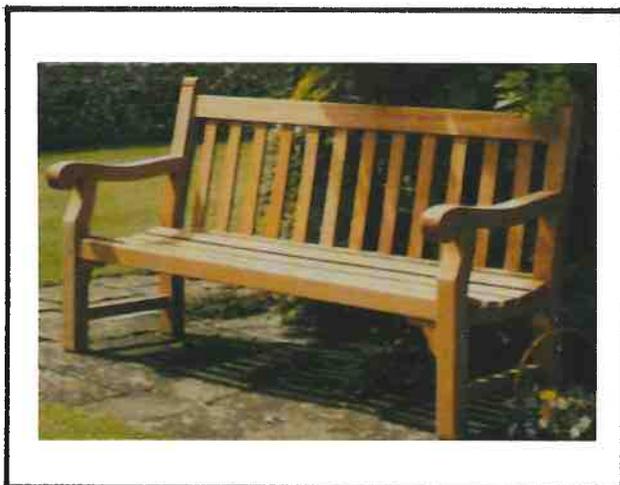


5. Modern landscaping techniques such as earth mounding and the use of boulders is discouraged.
6. Small courtyard spaces with benches, fountains and decorative street lamps are encouraged within the interior of retail shop complexes.
7. The use of dense hedge materials is encouraged for parking lot screening.
8. Topiary (plant sculpture) is encouraged where traditionally appropriate.
9. Tress that are espaliered on the surface of buildings and walls are encouraged.
10. Cast iron tree guards and grates around trees in walkways are required.
11. Decorative paving materials are encouraged for all walking surfaces. Paving on site shall complement the brick paving in public sidewalks.
12. Special design emphasis shall be given to on site landscaping and paving at the major and fundamental street intersections within the Village core.

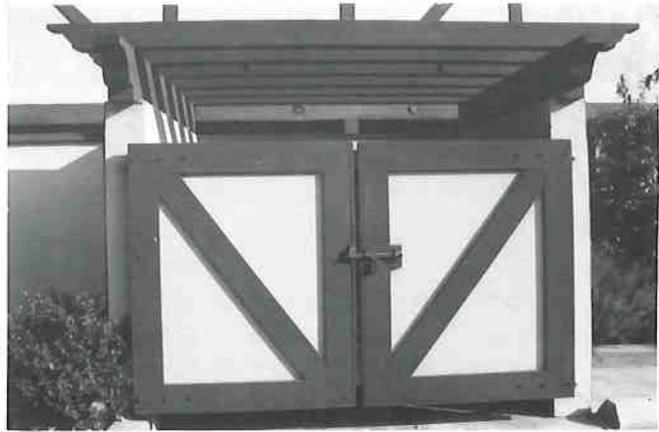
13. All permanent sculpture and visual art in exterior public and semi-public places shall be subject to review and approval by the BAR. It is expected that all such forms of art be compatible with the traditional theme of the Village.
14. Water conserving fountains are encouraged as well as the placement of sun dials, bird baths and other garden type items, if set in a traditional manner as approved by the BAR.



15. Benches should be provided in both public and private pedestrian areas and walkways. Benches in public areas must comply with the approved BAR design. Benches on private property, adjacent to public right of way, may vary if approved by the BAR.



16. Trash enclosures shall be carefully located and treated to integrate with the appearance of the site/ building design. It is recommended that placement of the enclosures be combined with neighboring properties where reasonably possible. Enclosures shall be constructed of masonry material. If concrete block is used, the exterior must be plastered, 1/2 timbered and, where appropriate, covered with an approved roof.



The roof pitch and materials shall be consistent with the old world design as exemplified in the guidelines. Special consideration shall be given to long term maintenance of trash areas, which shall be designed to be durable and withstand abuse.

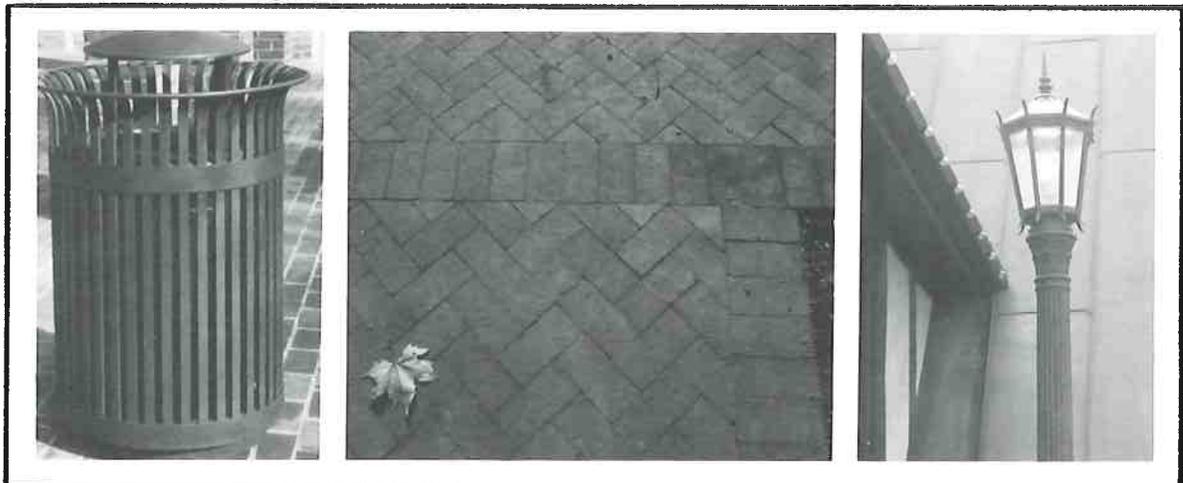
17. Mail boxes shall be included and shown in the project design. They shall be styled in a manner consistent with the architecture of the building. The use of gang boxes for mail delivery is discouraged.

D. Public Areas:

1. Whenever a public sidewalk is removed and replaced or is to be newly constructed, such surface shall be replaced with the approved red brick material or an alternate material of like quality.

Any proposed alternate material and the pattern in which it is to be laid is to be reviewed and approved by the B.A.R. This is to assure that the materials and the patterns proposed are harmonious with the village theme and will blend with adjacent sidewalks and the street scene of the area, both existing and proposed.

2. Street lighting shall be consistent with the old world lantern style.
3. Where sidewalk trash receptacles are provided, they shall be of the standard design.



E. VILLAGE AREA SIGNS:

1. **For specific information and detail refer to the Sign Ordinance.**
2. Signs shall be designed to enhance the special character of the Village and the buildings on which they are placed. In general, overlay large lettering or any signage which competes with the village architecture or character is prohibited. Individual lettering in the traditional "old world" style is preferred. The lighting of signs should be considered carefully and should be unobtrusive. Visible lighting fixtures should be of an appropriate style.
3. All sign applications are to be reviewed by the Board of Architectural Review except certain signs may be approved by the City Planner. These signs are as follows:
 - a. Signs that are in compliance with an approved sign program for a shopping center or complex.
 - b. Sign identification printed on the valance of a canvas awning. Letter height shall not exceed five (5) inches.
 - c. Replacement of standardized tenant plaques on an approved directory sign for a shopping center or complex. Such plaques must match the existing signs.
4. Wrought iron brackets are to be specifically designed and in compliance with historic building designs.





IV. THE CITY AT LARGE

A Commercial and Office Areas:

1. The Danish/Traditional Northern European design theme of the village area is discouraged in the outlying areas, as shown on the attached map.
2. Traditional styles derived from Spanish or early California origins and ranch styles are preferred. Other low profile styles are acceptable if conforming to the other guidelines stated below.



3. Buildings should demonstrate compatibility in materials and consistency in style throughout all exterior elevations. Building components such as windows, doors, archways and parapets should have proportions appropriate to the architecture of the structure.
4. Building colors should complement architectural details and blend with the surrounding buildings and structures.
5. All roof and mechanical equipment shall be screened. Such screening shall be integral with the overall architecture.
6. Buildings should have a harmonious relationship with the surrounding neighborhood. Significant factors in establishing this relationship are a sense of scale, roof lines, colors, textures and materials.
7. Skyline trees should be incorporated into the landscape plan where appropriate. Existing significant trees or natural features should be protected and utilized where possible in the landscaping of the project.
8. Trash enclosures shall be provided and appropriately screened and placed as determined by the BAR and City Ordinance.



9. Mail boxes shall be included and shown in the project design. They shall be styled in a manner consistent with the architecture of the building. The use of gang boxes for mail delivery is discouraged.
10. Composition roofing may be approved by the B.A.R. if such materials are found to be consistent with the architectural design and integrity of the buildings. The use of such materials shall further the architectural appearance and integrity of the building as it relates to the building's location on the site and its surroundings.

B. City at Large Signs:

- 1. For specific information and detail refer to the Sign Ordinance.**



- 2. In general, signs in the City at large should conform to the following guidelines.**
 - a. Signs should be limited in area and placement. One low freestanding sign to identify a shopping center or office building complex is allowed on each street frontage. Freestanding signs for individual businesses within a complex are not considered appropriate and will not be permitted.**
 - b. Two (2) faced signs for each storefront for each frontage of a business within a shopping complex or business center will be considered.**
 - c. Lighted signs are permitted in accordance with an approved sign program approved for each shopping complex.**
 - d. Lighting sources should be carefully considered so as not to cause a problem with excessive light and glare.**
- 3. All sign applications are subject to review by the Board of Architectural Review except certain signs may be approved by the City Planner. These signs are as follows:**
 - a. Signs that are in compliance with an approved sign program for a shopping center or complex.**
 - b. Sign identification printed on the valance of a canvas awning. Letter height shall not exceed five (5) inches.**
 - c. Replacement of standardized tenant plaques on an approved directory sign for a shopping center or complex. Such plaques must match the existing sign.**

C. Multiple Family Residential Areas:

1. Buildings should be designed to be compatible with the scale and residential character of the area.
2. Parking areas should be screened from view from the street and surrounding residential areas.
3. Private usable outside yard or deck area must be provided for each unit.
4. Appropriate landscaping must be provided in accordance with BAR approval.
5. Consideration should be given for privacy relative to adjoining properties.
6. Mail boxes shall be included and shown in the project design. They shall be styled in a manner consistent with the architecture of the building. The use of gang boxes for mail delivery is discouraged.
7. Composition roofing may be approved by the B.A.R. if such materials are found to be consistent with the architectural design and integrity of the buildings. The use of such materials shall further the architectural appearance and integrity of the building as it relates to the building's location on the site and its surroundings.

