

HOTEL 1704 MISSION DRIVE SOLVANG, CA 93463



PLANNING COMMISSION REVIEW SET

This project is under consideration by the City of Solvang Planning Commission. These Plans are not approved.



ON DESIGN, LLC
Architecture
Planning
Interior Design

Keith Nolan
C-22451



CONTACT INFORMATION

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CODE REQUIREMENT:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2019 CALIFORNIA BUILDING CODE (C.B.C.)
- 2019 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
- CALIFORNIA ADMINISTRATIVE CODE 2019 (TITLES 24 & 25)
- 2019 CALIFORNIA MECHANICAL CODE (2019 C.M.C.)
- 2019 CALIFORNIA PLUMBING CODE (2019 C.P.C.)
- 2019 CALIFORNIA ELECTRICAL CODE (2019 C.E.C.)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE COUNTY ORDINANCES
- FEDERAL OSHA
- COUNTY AIR POLLUTION CONTROL DISTRICT REQUIREMENTS
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA ADMINISTRATIVE CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA REFERENCED STANDARDS CODE

PROJECT STATISTICS

HOTEL ROOMS			
PROPOSED	NET	GROSS	
UNIT 1 (BLDG A)	342 SF	390 SF	
UNIT 2 (BLDG E)	282 SF	325 SF	
UNIT 3 (BLDG B)	302 SF	355 SF	
UNIT 4 (BLDG D)	323 SF	385 SF	
UNIT 5 (BLDG B)	302 SF	355 SF	
UNIT 6 (BLDG C)	288 SF	340 SF	
UNIT 7 (BLDG B)	302 SF	355 SF	
UNIT 8 (BLDG C)	288 SF	340 SF	
UNIT 9 (BLDG E)	282 SF	325 SF	
SUBTOTAL:	2,711 SF	3,170 SF	

ACCESSORY STRUCTURES			
PROPOSED	NET	GROSS	
MEETING HALL (BLDG F)	350 SF	400 SF	
SUBTOTAL:	350 SF	400 SF	
TOTAL:	3,061 SF	3,570 SF	

PARKING

REQUIRED:	# OF SPACES
HOTEL GUEST (1 SPACE PER ROOM)	9
HOTEL EMPLOYEE (1 SPACE PER 5 EMPLOYEES)	1
TOTAL REQUIRED	10

PROVIDED:	# OF SPACES
ON SITE PARKING	0
HOTEL GUEST (1783 MISSION DRIVE) ¹	9
HOTEL EMPLOYEE (1783 MISSION DRIVE) ²	1
TOTAL PROVIDED	10

NOTE
1. ONE PARKING SPACE IS PROPOSED TO BE LEASED FROM THE ADJACENT CITY PARKING LOT. THE APPLICANT IS REQUESTING TO LOCATE THE PARKING OFFSITE AT 1693 MISSION DRIVE. STAFF WILL OVER VALET SERVICE FOR DROP-OFF AND PICK-UP OF PERSONS AND LUGGAGE TO THE SITE.
2. THIS HOTEL WILL BE MANAGED BY HOTEL STAFF AT THE PROPOSED HOTEL AT 1693 MISSION DRIVE.

SITE COVERAGE

EXISTING	
BUILDING	0 SF / 0.0%
HARDSCAPE	0 SF / 0.0%
LANDSCAPE	16,309 SF / 100%
TOTAL	16,309 SF / 100%

PROPOSED	
BUILDING	3,570 SF / 21.9%
HARDSCAPE	4,490 SF / 27.5%
LANDSCAPE	8,249 SF / 50.6%
TOTAL	16,309 SF / 100%

DEVELOPMENT STANDARDS

ALLOWED BUILDING HEIGHT	
MAXIMUM BUILDING HEIGHT	35 FT 50 FT FOR ARCHITECTURAL FEATURES

REQUIRED SETBACKS	
FRONT	42 FT FROM MISSION DRIVE CENTERLINE 30 FT FROM STREET CENTERLINE
SIDE	0 FT
REAR	10% LOT DEPTH, NOT TO EXCEED 10 FT

VICINITY MAP



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PROJECT DESCRIPTION

THE PROPOSED PROJECT IS TO CONSTRUCT NINE HOTEL COTTAGES DESIGNED TO AN UNDERSTATED SCALE OF DANISH ARCHITECTURE. THE DANISH STYLE COTTAGES WILL BE SITUATED ALONG THE EAST AND SOUTH PROPERTY LINES. A WINDMILL AND CHAPEL WILL BE LOCATED ALONG THE CREEK TO CONTRIBUTE TO THE SETTING. THE REMAINDER OF THE SITE WILL BE DEVELOPED WITH WALKWAYS AND LANDSCAPE. 1 PARKING SPACE IS PROPOSED TO BE LEASED FROM THE ADJACENT CITY LOT FOR DROP-OFF USE, WHILE THE REMAINDER OF THE PARKING IS PROPOSED TO BE LOCATED AT 1693 MISSION DRIVE.

PROJECT INFORMATION

APN	139-240-033
PROJECT ADDRESS:	1704 MISSION DRIVE SOLVANG, CA 93463
ZONE:	TRC
GENERAL PLAN:	TOURIST COMMERCIAL
GROSS LOT SIZE:	16,309 SQ FT / 0.37 ACRES
LOT SLOPE:	1%
CONST TYPE:	V-B
OCCUPANCY:	R-1
FLOOD ZONE:	X
GRADING CY:	60 CY CUT / 260 CY FILL

HOTEL
1704 Mission Drive
Solvang, CA 93463
TITLE SHEET

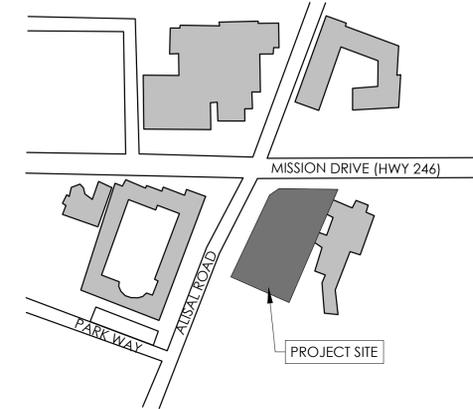
Revisions

Project Manager
KN
Drawn By
Scale
VARIES
Print Date

T-1.1



VICINITY MAP
N.T.S.



PROJECT LOCATION MAP
N.T.S.

THE CITY OF SOLVANG

PRELIMINARY GRADING PLAN

1704 MISSION DRIVE

GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE CITY ENGINEERING DEPARTMENT. THE CITY ENGINEER SHALL BE NOTIFIED AT LEAST TWENTY-FOUR HOURS PRIOR TO STARTING OF CONSTRUCTION. ANY CONSTRUCTION DONE WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE CITY ENGINEER WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT CITY OF SOLVANG STANDARDS AND SPECIFICATIONS, AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- RECORD PLANS ARE TO BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CIVIL ENGINEER CERTIFYING THE IMPROVEMENTS AND PREPARING THE RECORD PLANS SHALL BE PRESENT WHEN THE FINAL INSPECTION IS MADE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO START OF CONSTRUCTION. EXISTING UTILITIES AND IMPROVEMENTS SHOWN ON THE CONSTRUCTION PLANS ARE FROM RECORD SOURCES AND WERE SHOWN FOR DESIGN PURPOSES ONLY.
- ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION BY THE CONTRACTOR.
- CONTRACTOR TO TELEPHONE UNDERGROUND SERVICE ALERT (USA) TOLL FREE AT 811 A MINIMUM OF FORTY-EIGHT WORKING HOURS PRIOR TO THE START OF CONSTRUCTION. FOR BEST RESPONSE, PROVIDE AS MUCH NOTICE AS POSSIBLE, UP TO TEN WORKING DAYS.
- CONSTRUCTION CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND RELATED FACILITIES AND FOR PROTECTING THEM DURING THE COURSE OF CONSTRUCTION. ALL UTILITIES THAT ARE NOT A MEMBER OF USA MUST ALSO BE NOTED.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE CITY RIGHT-OF-WAY. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER, AND FIRE SERVICE LATERALS, CURB, GUTTER, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK UNDERDRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, STREET PAVING, AND PEDESTRIAN PROTECTION OR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY. ALL WORK LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE CITY UTILITIES AND PUBLIC WORKS DEPARTMENTS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE ENGINEERING STANDARDS AND STANDARD SPECIFICATIONS.
- CONTACT PUBLIC WORKS WITH AT LEAST A 48 HOUR NOTICE FOR ANY REQUIRED ENCROACHMENT PERMIT INSPECTIONS OR FINAL INSPECTIONS.
- THE CONTRACTOR SHALL PROVIDE A LEGIBLE AND COMPLETE SET OF PLANS IDENTIFYING ALL MODIFICATIONS MADE DURING CONSTRUCTION TO THE DESIGN ENGINEER FOR THE RECORD DRAWINGS.
- ANY PROPOSED DEVIATIONS FROM THE PLANS MUST BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL, INCLUDING FIELD REVISIONS REQUESTED BY THE CITY INSPECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR PROPER RESETTING OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. ANY SURVEY MONUMENTS DESTROYED BY THE CONTRACTOR SHALL BE REPLACED IN ACCORDANCE WITH THE STATE LAND SURVEYORS ACT AT THE CONTRACTOR'S EXPENSE.
- TEMPORARY EROSION CONTROL DEVICES SHALL BE ON SITE DURING CONSTRUCTION ACTIVITY TO BE IMPLEMENTED PRIOR TO A PREDICTED RAIN EVENT OF 50% PROBABILITY OR GREATER
- ANY SECTIONS OF DAMAGED OR DISPLACED CURB, GUTTER & SIDEWALK OR DRIVEWAY APPROACH SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR
- ALL STORM WATER EROSION CONTROL AND SEDIMENT CONTROL DEVICES / MEASURES (I.E. BMPs) SHALL BE IN PLACE THROUGHOUT GROUND DISTURBING ACTIVITIES.

GENERAL REQUIREMENTS OF CONTRACTOR

- THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CHANGES OF CONSTRUCTION FROM THAT SHOWN IN THESE PLANS AND SPECIFICATIONS FOR THE PURPOSE OF PROVIDING A BASIS FOR CONSTRUCTION RECORD DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER, THE CITY OF BUENA PARK, AND/OR THE AGENCY HAVING JURISDICTION. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DELIVER THIS RECORD OF ALL CONSTRUCTION CHANGES TO THE ENGINEER ALONG WITH A LETTER WHICH DECLARES THAT THE PROJECT WAS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPROVED CHANGE ORDERS.
- CAUTION:** THE ENGINEER WHO PREPARED THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY THE ENGINEER AND CITY OF BUENA PARK.
- THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER, CONSTRUCTION MANAGER AND THE CITY BY PHONE AND IN WRITING UPON DISCOVERY OF, AND BEFORE DISTURBING, ANY PHYSICAL CONDITIONS DIFFERING FROM THOSE REPRESENTED BY APPROVED PLANS AND SPECIFICATIONS.
- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ALL LIABILITY AND CLAIMS, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONALS.
- THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY IN THE VICINITY OF THE JOB SITE AND FURTHER AGREES TO, AT CONTRACTOR'S EXPENSE, REPAIR OR REPLACE TO THE ORIGINAL CONDITION, ALL EXISTING IMPROVEMENTS WITHIN OR IN THE VICINITY OF THE JOB SITE WHICH ARE NOT DESIGNATED FOR REMOVAL AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF CONTRACTOR'S OPERATIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL AND SAFETY AND SHALL FURNISH, INSTALL, AND MAINTAIN SUCH FENCING, SIGNS, LIGHTS, TRENCH PLATES, BARRICADES, AND/OR OTHER PROTECTION AS IS NECESSARY FOR SAID CONTROL AND SAFETY.
- EXISTING BURIED CONDUITS AND STRUCTURES KNOWN TO THE ENGINEER ARE SHOWN ON THESE PLANS. HOWEVER, ALL SUCH CONDUITS AND STRUCTURES MAY NOT BE SHOWN AND THE LOCATIONS AND ELEVATIONS OF THOSE SHOWN ARE APPROXIMATE ONLY AND HAVE NOT NECESSARILY BEEN INDEPENDENTLY VERIFIED BY THE PREPARER OF THESE PLANS.
- THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE PRESENCE OF BURIED CONDUITS AND STRUCTURES, BOTH ACTIVE AND ABANDONED-IN-PLACE AND, BEFORE COMMENCING WORK, CONTRACTOR SHALL DETERMINE THE EXACT LOCATION INCLUDING DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES, INCLUDING SERVICE CONNECTIONS, WHICH MAY AFFECT OR BE AFFECTED BY HIS OPERATIONS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES.
- UPON ENCOUNTERING EXISTING BURIED CONDUITS OR STRUCTURES NOT SHOWN OR LOCATED DIFFERENTLY THAN SHOWN ON THE PLANS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, THE OWNER OF THE CONDUIT OR STRUCTURE, AND THE CITY OF BUENA PARK BY PHONE AND IN WRITING. IF SUCH CONDUIT OR STRUCTURE AFFECTS OR IS AFFECTED BY THE WORK, CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION AND DIRECTION BEFORE PROCEEDING WITH THE WORK, EXCEPTING THAT IN AN EMERGENCY AFFECTING SAFETY OF LIFE, WORK OR ADJACENT PROPERTY, CONTRACTOR SHALL ACT AT ONCE WITHOUT INSTRUCTIONS TO PREVENT INJURY OR LOSS.
- REMOVAL OF CONFLICTING MATERIALS (UTILITIES, PAVEMENT, WALLS, ETC.) SHALL BE DISPOSED OF OFFSITE OR STOCKPILED ONSITE AT THE DIRECTION OF THE CONSTRUCTION MANAGER.

GRADING NOTES

- CONSTRUCTION CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY ADJACENT TO THE JOB SITE AND THAT HE/SHE SHALL AT HIS/HER EXPENSE, REPAIR OR REPLACE TO ORIGINAL CONDITION ALL EXISTING IMPROVEMENTS WITHIN OR ADJACENT TO THE JOB SITE WHICH ARE DESIGNATED FOR REMOVAL AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF HIS/HER OPERATIONS.
- IN THE EVENT ARCHAEOLOGICAL RESOURCES ARE DISCOVERED IN CONJUNCTION WITH A CONSTRUCTION PROJECT, ALL ACTIVITIES SHALL CEASE AND THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE NOTIFIED SO THAT THE PROCEDURES REQUIRED BY STATE LAW MAY BE APPLIED.
- TRACKING ONTO THE PUBLIC RIGHT-OF-WAY SHALL BE MINIMIZED, THE ADJOINING STREET AND SIDEWALK SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD, AND CONSTRUCTION DEBRIS AT THE END OF EACH WORKING DAY.

GENERAL CONSTRUCTION NOTES

- ALL REFERENCED SPECIFICATIONS, CODES, DRAWINGS AND DETAILS SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT OR DELINEATED IN THEIR ENTIRETY HEREON.
- ALL MATERIALS AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. IF A MATERIAL OR CONSTRUCTION SPECIFICATION IS NOT ADDRESSED IN THESE PLANS, THEN BRING TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION. THE ORDER OF PRECEDENCE FOR SPECIFICATIONS SHALL APPLY AS FOLLOWS: THE STANDARD DETAILS, LATEST EDITION (SEPTEMBER 2011) OF THE COUNTY OF SANTA BARBARA, COUNTY STANDARD PLANS AND SPECIFICATIONS SHALL INCLUDE THE CURRENT VERSIONS OF THE CALTRANS STANDARD PLANS AND SPECIFICATIONS AND THE APWA STANDARD PLANS AND SPECIFICATIONS FOR SOUTHERN CALIFORNIA (GREEN BOOK), LATEST EDITION (PUBLISHED BY BUILDING NEWS, INC., LOS ANGELES). IF THERE IS A CONFLICT BETWEEN THESE STANDARD PLANS AND SPECIFICATIONS, THE COUNTY STANDARD DETAILS SHALL GOVERN. CALTRANS PLANS SHALL HAVE PRECEDENCE OVER APWA PLANS UNLESS SPECIFICALLY STATED OTHERWISE.
- GRADING OR OTHER CONSTRUCTION WORK OFFSITE IS NOT PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE AFFECTED OFFSITE PROPERTY OWNERS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PROJECT'S CONDITIONS OF APPROVAL AND ABIDE BY THEIR REQUIREMENTS AS APPLICABLE.
- GEOTECHNICAL OR GEOLOGIC REPORTS AND ANY UPDATES SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT IN THEIR ENTIRETY HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE APPLICABLE REPORTS AND ABIDE BY THEIR RECOMMENDATIONS. IF THE CONTRACTOR DETERMINES THERE IS A CONFLICT BETWEEN THESE PLANS AND THE REPORTS CONTRACTOR SHALL PHONE AND NOTIFY IN WRITING BOTH THE PREPARER OF THESE PLANS AND THE REPORT. PRIOR TO PROCEEDING CONTRACTOR WILL WAIT FOR A WRITTEN RESPONSE CLARIFYING THE DISCREPANCY.
- BEFORE BEGINNING WORK A PRE-CONSTRUCTION MEETING SHALL BE HELD. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER, THE UTILITY COMPANIES, THE GEOTECHNICAL ENGINEER, THE ARCHITECT, AND THE ENGINEER, AND SHALL DETERMINE FROM EACH: (1) SCOPE OF WORK TO BE OBSERVED AND BY WHOM, (2) SCOPE OF TESTING, AND (3) ADVANCE NOTICE REQUIRED (MINIMUM OF 48 HOURS). DURING THE COURSE OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR OBSERVATION AND TESTING AS STIPULATED PURSUANT TO ABOVE DETERMINATIONS. WORK NOT OBSERVED AND TESTED WILL BE SUBJECT TO REJECTION.
- EXISTING PERMANENT SURVEY MONUMENTS SHOWN ON THE PLANS, INCLUDING PROPERTY CORNERS AND BENCHMARKS, SHALL BE PRESERVED BY THE CONTRACTOR OR SHALL BE TIED-OUT PRIOR TO CONSTRUCTION AND RE-SET AFTER CONSTRUCTION BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

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C-2.0	GRADING PLAN
C-2.1	SITE SECTIONS
C-3.0	UTILITY PLAN
C-4.0	DETAILS
C-5.0	EROSION CONTROL PLAN

PROPOSED PROJECT DATA:

APN#	139-240-033
ZONE	TRC
GROSS LOT SIZE	16,309 SF (0.37 ACRES)
CONSTRUCTION TYPE	V-B
GENERAL PLAN	TOURIST COMMERCIAL
FLOOD ZONE	X

PROJECT DIRECTORY:

OWNER/DEVELOPER: ARCHDIOCESE OF LOS ANGELES ADDRESS: 1760 MISSION DRIVE SOLVANG, CA 93443 PHONE: (805) 688-4815	ARCHITECT: ON DESIGN ARCHITECTS ADDRESS: P.O. BOX 598 SANTA BARBARA, CA 93102 PHONE: (805) 896-8374 CONTACT: KEITH NOLAN, AIA
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CIVIL ENGINEER: RRM DESIGN GROUP ADDRESS: 10 E FIGUEROA ST # 200 SANTA BARBARA, CA 93101 PHONE: (805) 963-8283 CONTACT: MICHAEL HAMILTON, PE EMAIL: MCHAMILTON@RRMDESIGN.COM	

SURVEY NOTES:

DATE OF SURVEY: JANUARY 25, 2022
 CONTOUR INTERVAL: 1 FOOT
 DRAWN BY: GROMATICI LAND SURVEYING, INC.

BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE FOUND MONUMENTS ALONG THE BOUNDARY LINE HAVING A CALCULATED BEARING OF NORTH 69°12'37" WEST BETWEEN MONUMENTS DEPICTED HEREON AS POINTS 303 AND 301.

LOCAL BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS POINT 4 AS LISTED HEREON HAVING AN ELEVATION OF 488.61'.

VERTICAL DATUM AND PROJECT BENCHMARK: THE VERTICAL DATUM FOR THIS SURVEY IS NAVD88 BASED ON TIE TO CITY OF SOLVANG BENCHMARK 91-9 USING A PUBLISHED ELEVATION OF 489.80'.



This project is under consideration by the City of Solvang Planning Commission. These Plans are not approved.

rrm design group
 rrmdesign.com | (805) 963-8283
 10 EAST FIGUEROA STREET, SUITE 200
 SANTA BARBARA, CA 93101

THE INCLUDES DRAWINGS, SPECIFICATIONS, SEALS, ORDERS AND APPROVEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR OTHERWISE USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN PERMISSION OF RRM DESIGN GROUP. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. REMOVAL OF THESE DOCUMENTS FOR PUBLIC AGENCY REVIEW SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS. RRM DESIGN GROUP COPYRIGHT 2022. RRM IS A CALIFORNIA CORPORATION



CONSULTANT

AGENCY

HOTEL

1704 MISSION DRIVE, SOLVANG CA

TITLE SHEET

NO.	REVISION	DATE

PROJECT MANAGER
MICHAEL HAMILTON

DRAWN BY
KMB

CHECKED BY
MCH

DATE
AUGUST 7, 2023

PROJECT NUMBER
3034-01-CO23

SHEET
C-1.0



N:\3000\3034\01-CO23\1704-Mission-Dr-Civil-Eng (Engineering)\DataDev\Sheet-Files\Grading.dwg, Title, Aug 07, 2023, 3:06pm, KRever



CONSULTANT

AGENCY

MANDATORY INSPECTION

THE FOLLOWING MANDATORY INSPECTIONS SHALL BE CARRIED OUT BY THE CITY BUILDING INSPECTOR OR CITY QSP FOR ALL STORM WATER POST-CONSTRUCTION IMPROVEMENTS (BMP) INCLUDING SEVEN (7) BIORETENTION AREAS AND TWO (2) NDS FLO-WELL DEVICES. INSPECTIONS SHALL BE CALLED IN BY CONTRACTOR FOR INSPECTION 72 HOURS PRIOR TO NEEDED INSPECTION. THE CITY WILL THEN ROUTE TO THE QSP INSPECTOR OR THIRD PARTY COMPANY. SPECIFIC INSPECTIONS FOR DIFFERENT CONSTRUCTION PHASES SHALL INCLUDE:

BIORETENTION

- PRE-CONSTRUCTION MEETING
- EXCAVATION, SUBGRADE, AND BOX CONSTRUCTION INSPECTION
- FILTER LAYER, ROCK/SOIL/SAND LAYER INSTALLATIONS
- FINAL INSPECTION ONCE COMPLETED

PERMEABLE PAVERS

- PRE-CONSTRUCTION MEETING
- EXCAVATION AND SUBGRADE INSPECTION
- SUBGRADE LAYER, ROCK/CONCRETE INSTALLATIONS
- FINAL INSPECTION ONCE COMPLETED

EARTH QUANTITIES

AREA OF DISTURBANCE 0.37 AC±
 RAW CUT: 50 CY
 RAW FILL: 230 CY

QUANTITY ESTIMATES ON THESE PLANS ARE TO BE USED FOR PERMIT PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES FOR THE PURPOSE OF CONSTRUCTION.

THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED ROUGH GRADE AND THE LIMITED TOPOGRAPHIC EXISTING GRADES. THESE ESTIMATES DO NOT MAKE CONSIDERATIONS FOR LOSSES OR BULKING DUE TO: SHRINKAGE, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPOILS, ETC. THESE IN ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY EFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

BMP MAINTENANCE AGREEMENT

THE PROPOSED STORM WATER BMPs, LISTED BELOW, SHALL BE MAINTAINED PURSUANT TO SBMC 22.87.050:

- BIORETENTION AREAS (3)
- PERMEABLE PAVEMENT
- STORM DRAINS
- STORM DRAIN INLETS (2)

OWNER SIGNATURE _____

DATE _____



PLANNING COMMISSION REVIEW SET

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CONSTRUCTION NOTES

- PROPOSED CURB AND GUTTER PER CITY OF SOLVANG STANDARD DETAIL 402, TYPE 42-6(1)S-0
- PROPOSED BRICK SIDEWALK PER CITY OF SOLVANG STANDARD DETAIL 404
- PROPOSED CONCRETE SIDEWALK PER DETAIL 'A', SHEET C-4.0
- PROPOSED PERMEABLE PAVEMENT SIDEWALK PER DETAIL 'B', SHEET C-4.0
- PROPOSED DRIVEWAY PER CITY OF SOLVANG DRAWING NUMBER 407, TYPE B
- PROPOSED SIDEWALK RECTANGULAR UNDERDRAIN PER COUNTY OF SANTA BARBARA STANDARD DETAIL 3-060
- PROPOSED CULTEC STORMWATER CHAMBERS PER DETAIL 'C', SHEET C-4.0
- PROPOSED EARTHEN SWALE PER DETAIL 'D', SHEET C-4.0
- PROPOSED 4" PVC SDR35 DRAIN PIPE, TRENCH PER SANTA BARBARA COUNTY STANDARD PLATE NO. 2-020
- PROPOSED 6" FLUSH GRATE AREA DRAIN PER DETAIL 'E', SHEET C-4.0
- PROPOSED ATRIUM GRATE PER DETAIL 'F', SHEET C-4.0
- PROPOSED 6" PVC SDR35 DRAIN PIPE, TRENCH PER SANTA BARBARA COUNTY STANDARD PLATE NO. 2-020
- PROPOSED TREE WELL PER LANDSCAPE ARCHITECT.

LEGEND

- EXISTING BRICK SIDEWALK
- PROPOSED BRICK SIDEWALK
- EXISTING CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BIORETENTION AND STORM BASIN
- PROPOSED LOW STONE WALL PER LANDSCAPE ARCHITECTS PLAN
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FLOWLINE
- PROPOSED STORM DRAIN
- PROPOSED GRADE BREAK
- SAWCUT
- PROPOSED DRAINAGE INLET
- EXISTING GRADE
- PROPOSED GRADE

HOTEL
 1704 MISSION DRIVE, SOLVANG CA
PRELIMINARY GRADING PLAN

NO.	REVISION	DATE

PROJECT MANAGER
 MICHAEL HAMILTON
DRAWN BY
 KMB
CHECKED BY
 MCH
DATE
 AUGUST 7, 2023
PROJECT NUMBER
 3034-01-CO23
SHEET

C-2.0

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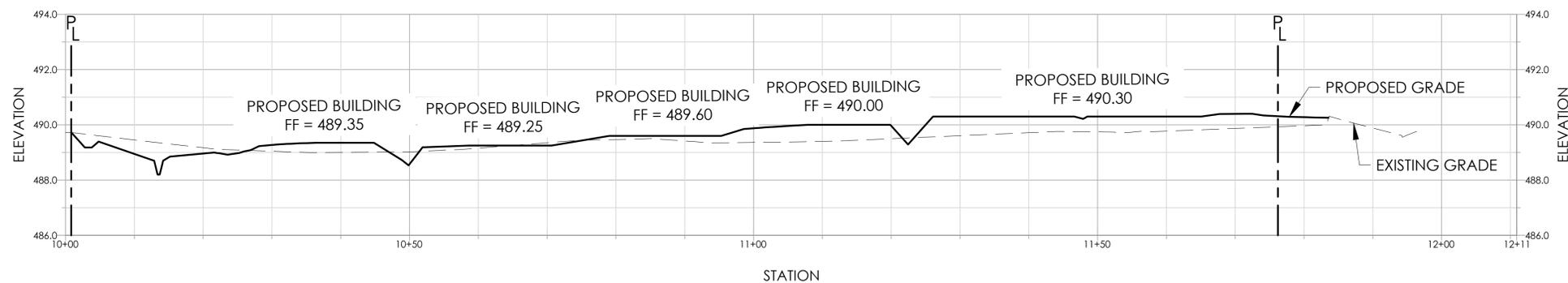
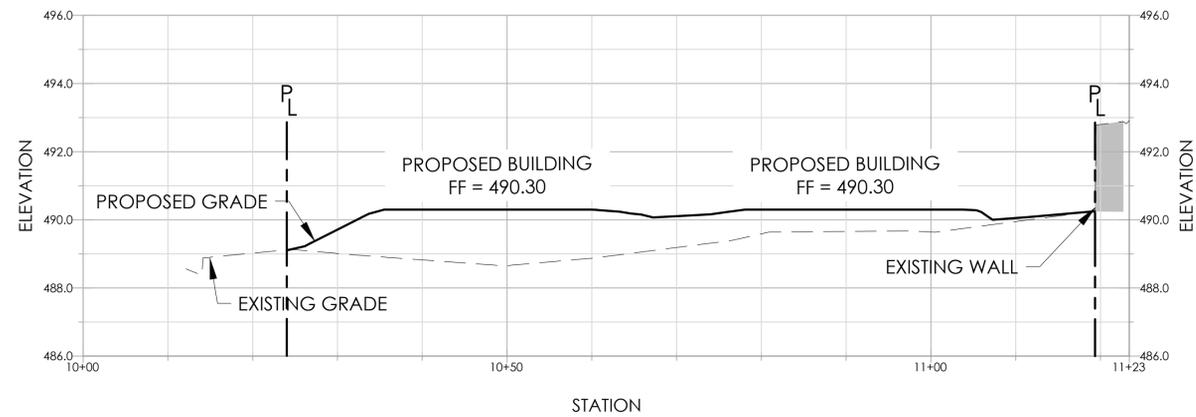
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**PLANNING
COMMISSION
REVIEW SET**

This project is under consideration by the City of Solvang Planning Commission. These Plans are not approved.



HOTEL
1704 MISSION DRIVE, SOLVANG CA
SITE SECTIONS

NO.	REVISION	DATE
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PROJECT MANAGER
MICHAEL HAMILTON
DRAWN BY **KMB** CHECKED BY **MCH**
DATE
AUGUST 7, 2023
PROJECT NUMBER
3034-01-CO23

SHEET
C-2.1

MISSION DRIVE



rrm design group
 rrmdesign.com | (805) 963-8283
 10 EAST FIGUEROA STREET, SUITE 200
 SANTA BARBARA, CA 93101
THIS INCLUDES DRAWINGS, SPECIFICATIONS, SEALS, ORDERS AND APPROPRIATE REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR OTHERWISE USED IN CONNECTION WITH ANY WORK OF PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP. WRITING CONTRACT AND THE SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE INSTRUMENTS. SIGNATURE OF THESE DOCUMENTS FOR PUBLIC AGENCY REVIEW SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS. RRM DESIGN GROUP COPYRIGHT 2022. RRM IS A CALIFORNIA CORPORATION



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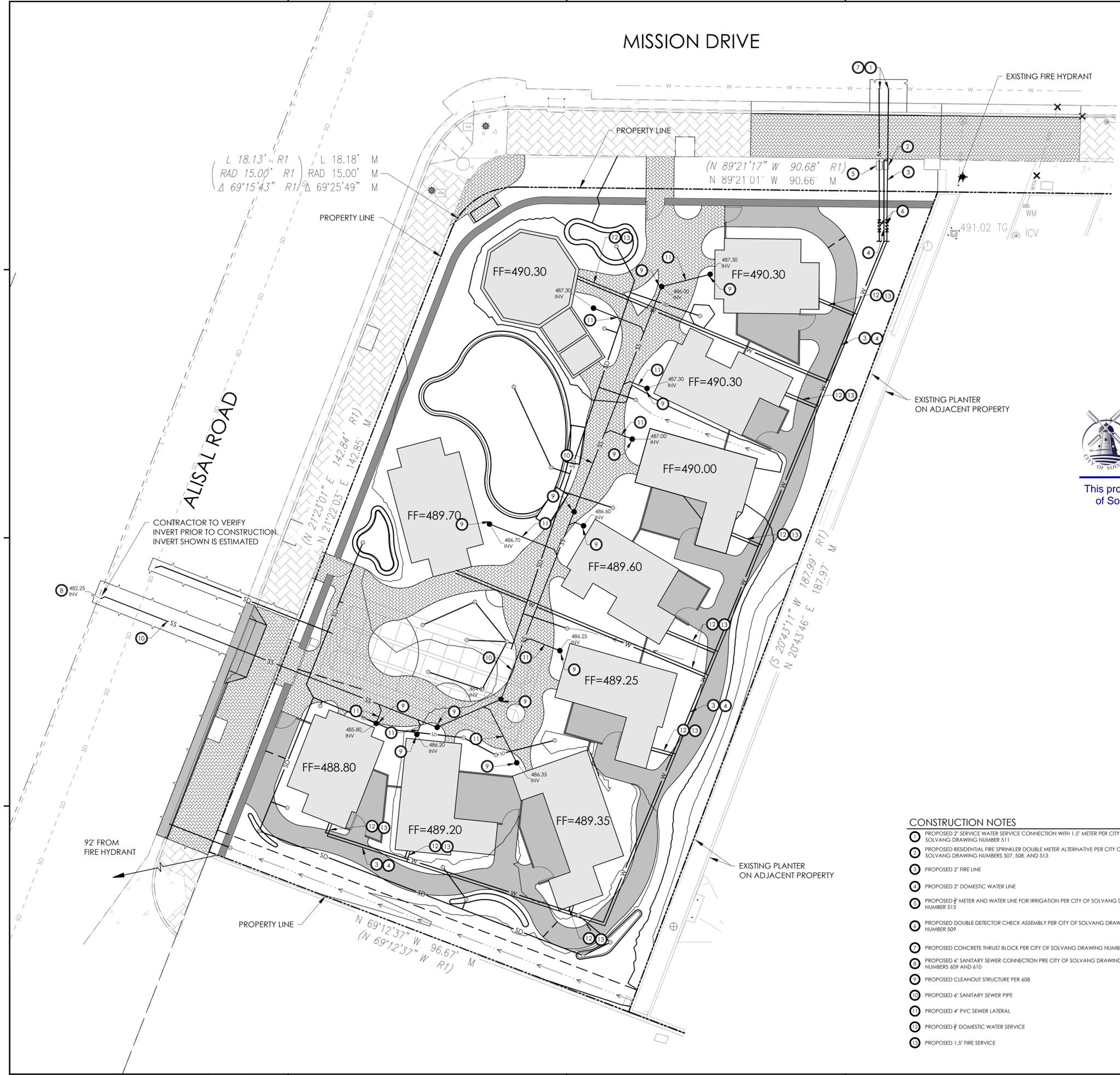
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HOTEL

1704 MISSION DRIVE, SOLVANG CA

PRELIMINARY UTILITY PLAN

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- CONSTRUCTION NOTES**
- 1 PROPOSED 2" SERVICE WATER SERVICE CONNECTION WITH 1.5" METER PER CITY OF SOLVANG DRAWING NUMBER 511
 - 2 PROPOSED RESIDENTIAL FIRE SPRINKLER DOUBLE METER ALTERNATIVE PER CITY OF SOLVANG DRAWING NUMBERS 507, 508, AND 513
 - 3 PROPOSED 2" FIRE LINE
 - 4 PROPOSED 2" DOMESTIC WATER LINE
 - 5 PROPOSED 2" METER AND WATER LINE FOR IRRIGATION PER CITY OF SOLVANG DRAWING NUMBER 513
 - 6 PROPOSED DOUBLE DETECTOR CHECK ASSEMBLY PER CITY OF SOLVANG DRAWING NUMBER 509
 - 7 PROPOSED CONCRETE THRUST BLOCK PER CITY OF SOLVANG DRAWING NUMBER 522
 - 8 PROPOSED 6" SANITARY SEWER CONNECTION PER CITY OF SOLVANG DRAWING NUMBERS 609 AND 610
 - 9 PROPOSED CLEANOUT STRUCTURE PER 608
 - 10 PROPOSED 6" SANITARY SEWER PIPE
 - 11 PROPOSED 4" PVC SEWER LATERAL
 - 12 PROPOSED 2" DOMESTIC WATER SERVICE
 - 13 PROPOSED 1.5" FIRE SERVICE

LEGEND

---	PROPERTY LINE
- - - S - - -	EXISTING SEWER LINE
- - - W - - -	EXISTING WATER LINE
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
⊕	EXISTING FIRE HYDRANT
---	SAWCUT LINE

CONTRACTOR TO VERIFY INVERT PRIOR TO CONSTRUCTION. INVERT SHOWN IS ESTIMATED

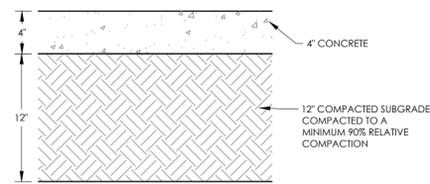
92' FROM FIRE HYDRANT

EXISTING PLANTER ON ADJACENT PROPERTY

NO.	REVISION	DATE

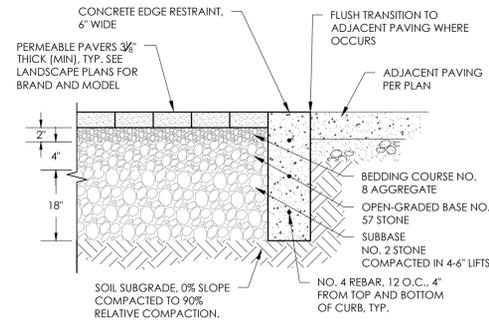
PROJECT MANAGER
MICHAEL HAMILTON
 DRAWN BY
KMB CHECKED BY
MCH
 DATE
AUGUST 7, 2023
 PROJECT NUMBER
3034-01-CO23

SHEET
C-3.0



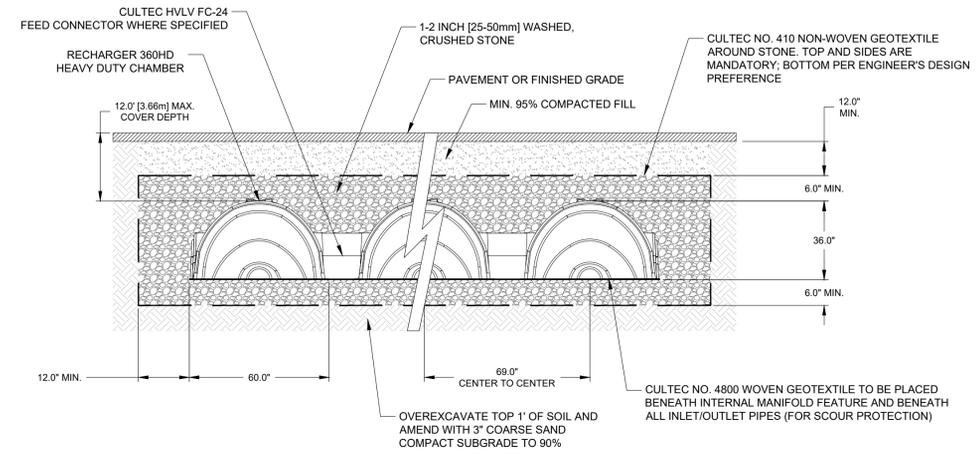
- NOTES:**
1. FINAL PAVING SECTION TO BE DETERMINED BASED ON TESTED R-VALUE AND RECOMMENDATIONS OF THE PROJECT SOILS ENGINEER.
 2. CONCRETE SHALL BE A MINIMUM OF 560-C-3250, PER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK).

A PEDESTRIAN CONCRETE PAVING
SCALE: NTS

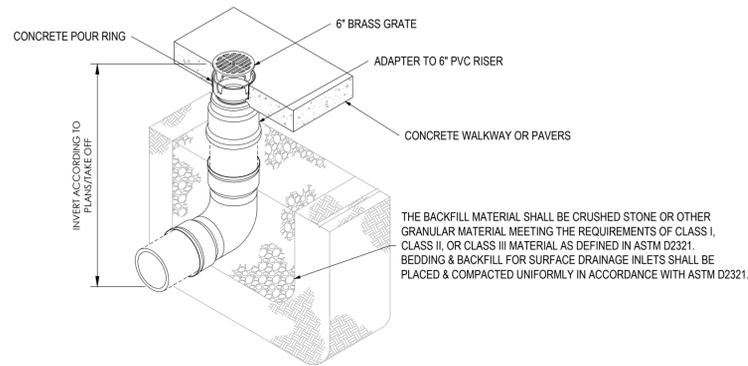


- NOTES:**
1. ALL AGGREGATE BASE MATERIAL SHALL BE WASHED, OPEN-GRADED (NO SAND), CRUSHED (ANGULAR) AGGREGATE.
 2. PAVING STONES SHALL BE INSTALLED SMOOTH WITHOUT GAPS OR GROOVES AND PER MANUFACTURER'S SPECIFICATIONS TO MAINTAIN A LEVEL SURFACE WHEN EXPOSED TO WEATHER CONDITIONS.

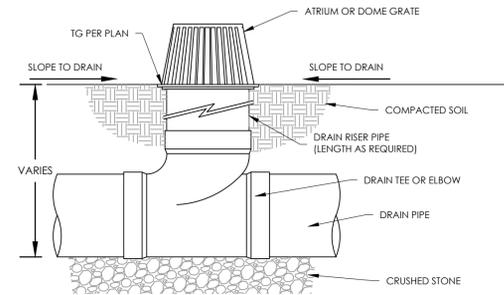
B PERMEABLE PAVERS CROSS-SECTION
SCALE: NTS



C CULTEC STORMWATER CHAMBERS
SCALE: NTS



E 6" FLUSH GRATE AREA DRAIN
SCALE: NTS



F ATRIUM GRATE
SCALE: NTS



PLANNING COMMISSION REVIEW SET

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HOTEL
1704 MISSION DRIVE, SOLVANG CA
DETAILS

NO.	REVISION	DATE
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PROJECT MANAGER
MICHAEL HAMILTON
DRAWN BY
KMB CHECKED BY
MCH
DATE
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3034-01-CO23

SHEET
C-4.0



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HOTEL
 1704 MISSION DRIVE, SOLVANG CA
EROSION CONTROL PLAN

NO.	REVISION	DATE

PROJECT MANAGER
MICHAEL HAMILTON
 DRAWN BY
KMB
 CHECKED BY
MCH
 DATE
AUGUST 7, 2023
 PROJECT NUMBER
3034-01-CO23
 SHEET

C-5.0

CONTRACTOR'S NOTES:

- CONTRACTOR SHALL PREVENT WATER CONTAMINATION DURING CONSTRUCTION BY IMPLEMENTING THE FOLLOWING CONSTRUCTION SITE MEASURES:
 - ALL ENTRANCES/EXITS TO THE CONSTRUCTION SITE SHALL BE STABILIZED USING METHODS DESIGNED TO REDUCE TRANSPORT OF SEDIMENT OFF SITE. STABILIZATION MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO USE OF GRAVEL PADS, STEEL RUMBLE PLATES, TEMPORARY PAVING, ETC.
 - ANY SEDIMENT OR OTHER MATERIALS TRACKED OFF SITE SHALL BE REMOVED THE SAME DAY AS THEY ARE TRACKED USING DRY CLEANING METHODS.
 - ENTRANCES/EXITS SHALL BE MAINTAINED UNTIL GRADED AREAS HAVE BEEN STABILIZED BY STRUCTURES. LONG-TERM EROSION CONTROL MEASURES OR LANDSCAPING, APPLY CONCRETE, ASPHALT, AND SEAL COAT ONLY DURING DRY WEATHER.
 - COVER STORM DRAINS AND MANHOLES WITHIN THE CONSTRUCTION AREA WHEN PAVING OR APPLYING SEAL COAT, SLURRY, FOG SEAL, ETC.
 - STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE SUCH AS PAINT, MORTAR, CONCRETE SLURRY, FUELS, ETC. IN A MANNER WHICH MINIMIZES THE POTENTIAL FOR STORM WATER CONTAMINATION.
- WITHIN 30 DAYS OF COMPLETION OF GRADING ACTIVITIES, CONTRACTOR SHALL USE HYDRO-SEED, STRAW BLANKETS, GEOTEXTILE BINDING FABRICS OR OTHER P&D APPROVED METHODS AS NECESSARY TO HOLD SLOPE SOILS UNTIL LANDSCAPE VEGETATION IS ESTABLISHED. P&D MAY REQUIRE THE RESEEDING OF SURFACES GRADED FOR THE PLACEMENT OF STRUCTURES IF CONSTRUCTION DOES NOT COMMENCE WITHIN 30 DAYS OF GRADING.
- CONTRACTOR SHALL DESIGNATE A CONSTRUCTION EQUIPMENT FILLING AND STORAGE AREA(S) TO CONTAIN SPILLS, FACILITATE CLEAN-UP AND PROPER DISPOSAL AND PREVENT CONTAMINATION FROM DISCHARGING TO THE STORM DRAINS, STREET, DRAINAGE DITCHES, CREEKS, OR WETLANDS. THE AREAS SHALL BE NO LARGER THAN 30 X 50 FOOT UNLESS OTHERWISE APPROVED BY P&D AND SHALL BE LOCATED AT LEAST 100 FEET FROM ANY STORM DRAIN, WATER BODY OR SENSITIVE BIOLOGICAL RESOURCES.
- GRADING AND EROSION AND SEDIMENT CONTROL PLANS SHALL BE DESIGNED TO MINIMIZE EROSION DURING CONSTRUCTION AND SHALL BE IMPLEMENTED FOR THE DURATION OF THE GRADING PERIOD AND UNTIL RE-GRADED AREAS HAVE BEEN STABILIZED BY STRUCTURES. LONG-TERM EROSION CONTROL MEASURES OR PERMANENT LANDSCAPING.
- THESE MEASURES ARE REQUIRED FOR ALL PROJECTS INVOLVING EARTHMOVING ACTIVITIES REGARDLESS OF THE PROJECT SIZE OR DURATION. PROPER IMPLEMENTATION OF THESE MEASURES IS ASSUMED TO FULLY MITIGATE FUGITIVE DUST EMISSIONS. DURING CONSTRUCTION, USE WATER TRUCKS OR SPRINKLER SYSTEMS TO KEEP ALL AREAS OF VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST FROM LEAVING THE SITE. AT A MINIMUM, THIS SHOULD INCLUDE WETTING DOWN SUCH AREAS IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY. INCREASED WATERING FREQUENCY SHOULD BE REQUIRED WHENEVER THE WIND SPEED EXCEEDS 15 MPH. RECLAIMED WATER SHOULD BE USED WHENEVER POSSIBLE. HOWEVER, RECLAIMED WATER SHOULD NOT BE USED IN OR AROUND CROPS FOR HUMAN CONSUMPTION, MINIMIZE AMOUNT OF DISTURBED AREA AND REDUCE ON SITE VEHICLE SPEEDS TO 15 MPH OR LESS. IF IMPORTATION, EXPORTATION AND STOCKPILING OF FILL MATERIAL IS INVOLVED, SOIL STOCKPILED FOR MORE THAN TWO DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION. TRUCKS TRANSPORTING FILL MATERIAL TO AND FROM THE SITE SHALL BE TARPED FROM THE POINT OF ORIGIN. GRAVEL PADS SHALL BE INSTALLED AT ALL ACCESS POINTS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADS. AFTER CLEARING, GRADING, EARTH MOVING OR EXCAVATION IS COMPLETED, TREAT THE DISTURBED AREA BY WATERING, OR REVEGETATING, OR BY SPREADING SOIL BINDERS UNTIL THE AREA IS PAVED OR OTHERWISE DEVELOPED SO THAT DUST GENERATION WILL NOT OCCUR.
- THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFFSITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT PRIOR TO LAND USE CLEARANCE FOR MAP RECORDATION AND LAND USE CLEARANCE FOR FINISH GRADING OF THE STRUCTURE.

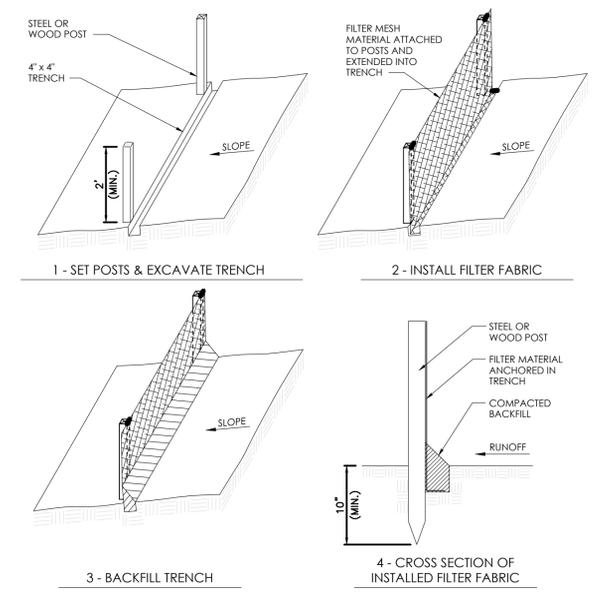
SITE SPECIFIC EROSION CONTROL NOTES:

- PERIMETER CONTROL BMP'S AND STABILIZED CONSTRUCTION ENTRANCES SHALL BE IN PLACE PRIOR TO ANY GROUND DISTURBANCE.
 - THESE PLANS ARE INTENDED TO REPRESENT DIFFERENT PHASES DURING CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE BMP'S SHOWN AND/OR ANY OTHER MEASURES NECESSARY DURING CONSTRUCTION TO BE IN COMPLIANCE WITH THE GENERAL PERMIT. IMPLEMENTATION OF THE BMP'S SHOWN ON THESE PLANS DO NOT RELIEVE THE OWNER OR HIS/HER REPRESENTATIVE FROM RESPONSIBILITY OF IMPLEMENTING ALL MEASURES NEEDED TO BE IN COMPLIANCE.
 - THE CONTRACTOR SHALL USE CLASS II BASE FOR THE STABILIZED CONSTRUCTION ROADWAY OR ALTERNATE METHODS THAT ACHIEVE THE DESIRED RESULTS. THIS BMP SHALL BE IMPLEMENTED TO ALL BUILDING PADS PRIOR TO VERTICAL CONSTRUCTION, OR AS SOON AS PRACTICAL.
 - THE CONTRACTOR MAY UTILIZE RUMBLE PLATES IN LIEU OF RIP RAP AT THE CONSTRUCTION ENTRANCES AS LONG AS THEY ACCOMPLISH THE DESIRED RESULTS.
 - ANY SEDIMENTS TRACKED OFFSITE SHALL BE CLEANED DAILY BY MEANS OF MOBILE STREET SWEEPERS.
 - ANY GRADED AREAS THAT ARE GOING TO SIT IDLE FOR MORE THAN TWO WEEKS, SHALL HAVE AN APPROPRIATE GROUND COVER BMP APPLIED.
 - THE LOCATIONS SHOWN FOR THE EQUIPMENT AND MATERIAL DELIVERY STORAGE AREAS AND CONCRETE WASTE CLEANOUT MAY BE RELOCATED DURING CONSTRUCTION.
- SILT FENCE:**
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (0.9 M). STORAGE HEIGHT AND PONDING HEIGHT SHALL NEVER EXCEED 18 INCHES (0.5 M).
 - THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS.
 - JOINTS, WHEN NECESSARY, SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH (0.2 M) OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
 - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3.1 M) APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES (0.3M)). WHEN EXTRA-STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
 - TURN THE ENDS OF THE FENCE UPHILL.
 - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (101 MM) WIDE AND 6 INCHES (0.2 M) DEEP ALONG THE LINE OF POSTS AND UP-SLOPE FROM THE BARRIER.
 - WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UP-SLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25.4 MM) LONG. THE WIRES OR HOG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (51MM) ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
 - WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
 - THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.
 - SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET (1.8 M) FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.
 - SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.
- INSPECTION AND MAINTENANCE:**
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM (1 INCH (25.4 MM) IN 24 HOURS). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 - SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 1/2 HEIGHT OF THE FENCE OR 9 INCHES (0.3 M) MAXIMUM.
 - THE REMOVED SEDIMENT SHALL CONFORM WITH THE EXISTING GRADE AND BE VEGETATED OR OTHERWISE STABILIZED.

STORM WATER POLLUTION PREVENTION BMP'S

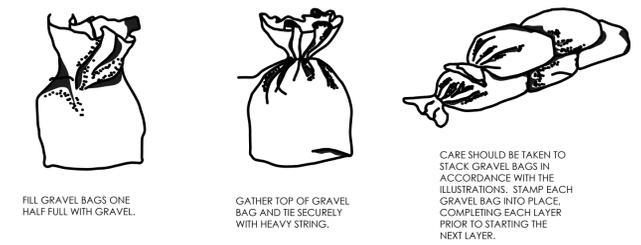
BMP*	NAME	SYMBOL
①	SE-1 SILT FENCE	— x — x —
②	SE-7 STREET SWEEPING & VACUUMING	~
③	SE-10 STORM DRAIN INLET PROTECTION	⌋ ⌋ ⌋
④	TC-1 STABILIZED CONSTRUCTION ENTRANCE	▧
⑤	WM-1 MATERIAL DELIVERY & STORAGE AREA CONSTRUCTION STAGING AREA	▨
⑥	WM-8 CONCRETE WASTE MANAGEMENT	⌈

* REFERS TO BMP DESIGNATION GIVEN IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE CONSTRUCTION HANDBOOK. SEE HANDBOOK FOR BMP DETAILS AND IMPLEMENTATION STRATEGIES.



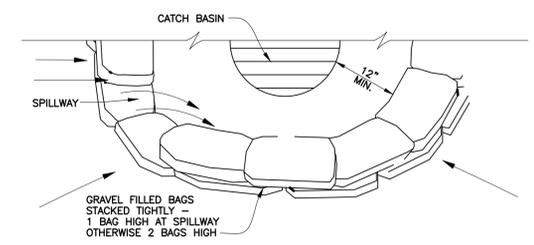
SILT FENCE CONSTRUCTION DETAIL

SCALE: N.T.S.



GRAVEL BAG INSTALLATION

SCALE: N.T.S.



CATCH BASIN INLET SEDIMENT BARRIER

SCALE: N.T.S.



- NOTES:**
- ALL CONCRETE TRUCKS AND FINISHING TOOLS SHALL BE WASHED AT THE WASH OFF AREA.
 - ALL CONCRETE WASTE COLLECTED IN WASH OFF AREA SHALL BE RECYCLED OR APPROPRIATELY DISPOSED OF OFF-SITE.
 - LOCATION AND SIZE OF WASH-OFF AREA MAY BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS.

TYPICAL CONCRETE WASH-OFF AREA SECTION

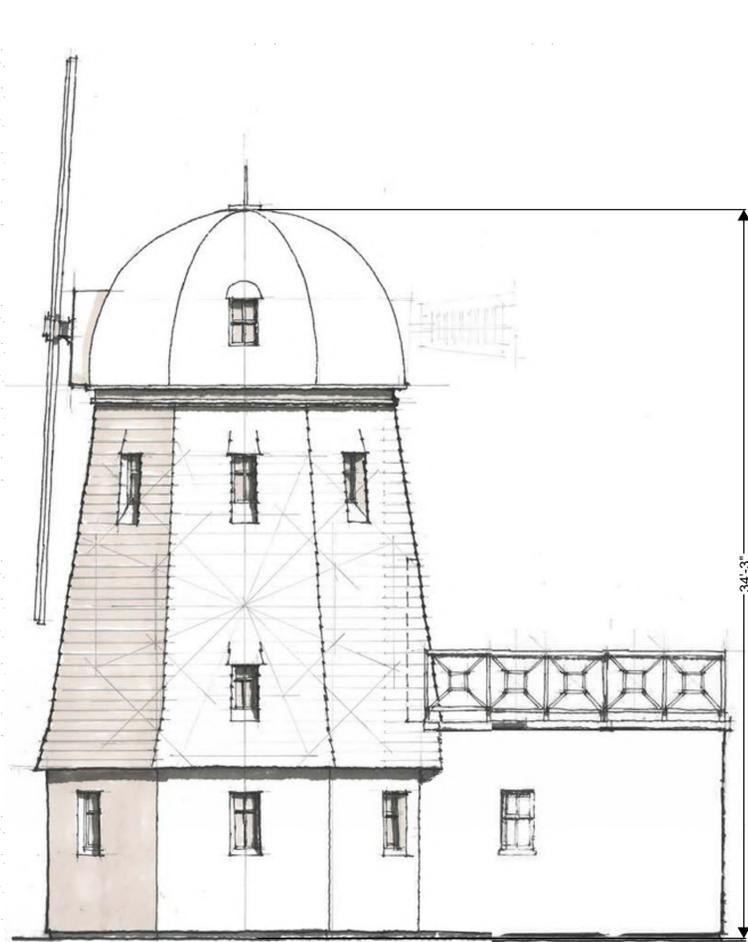
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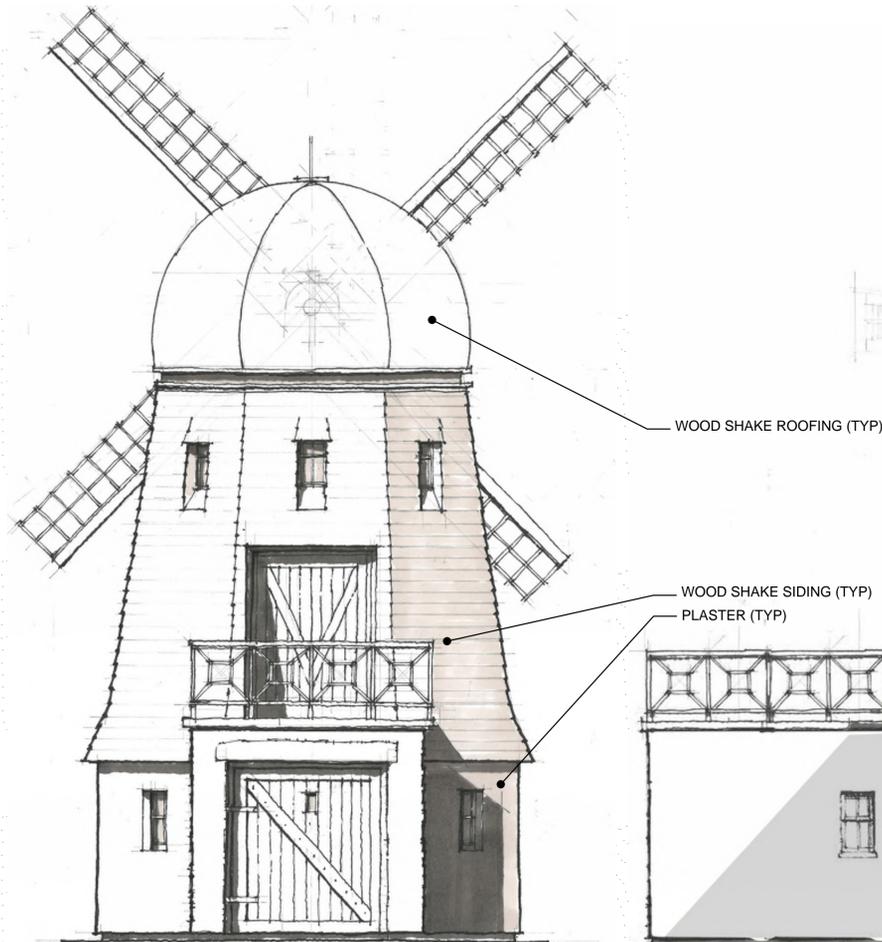
PLANNING COMMISSION REVIEW SET

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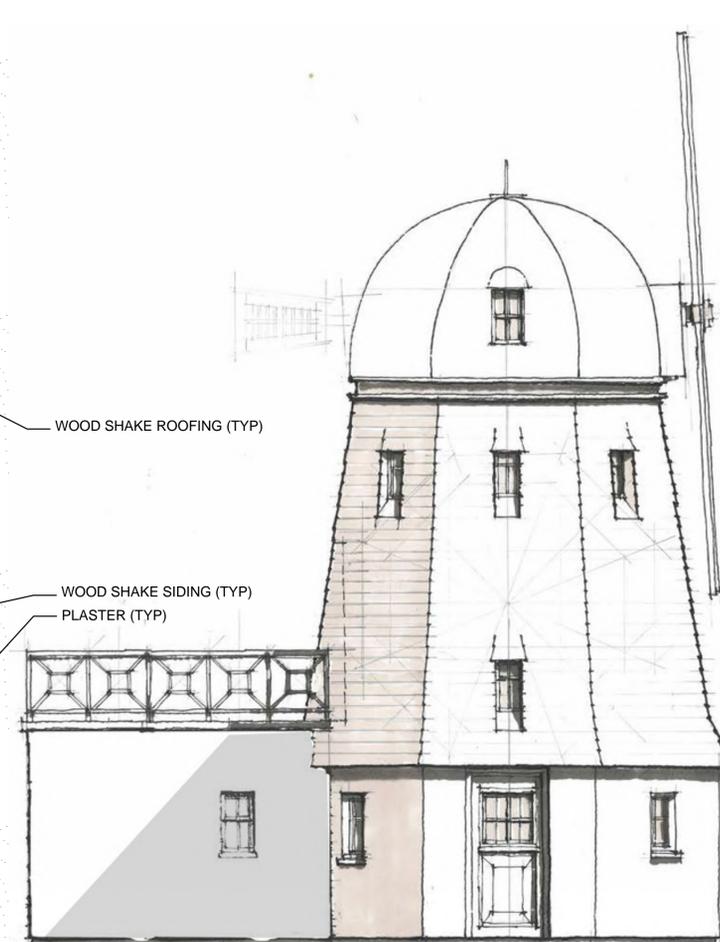
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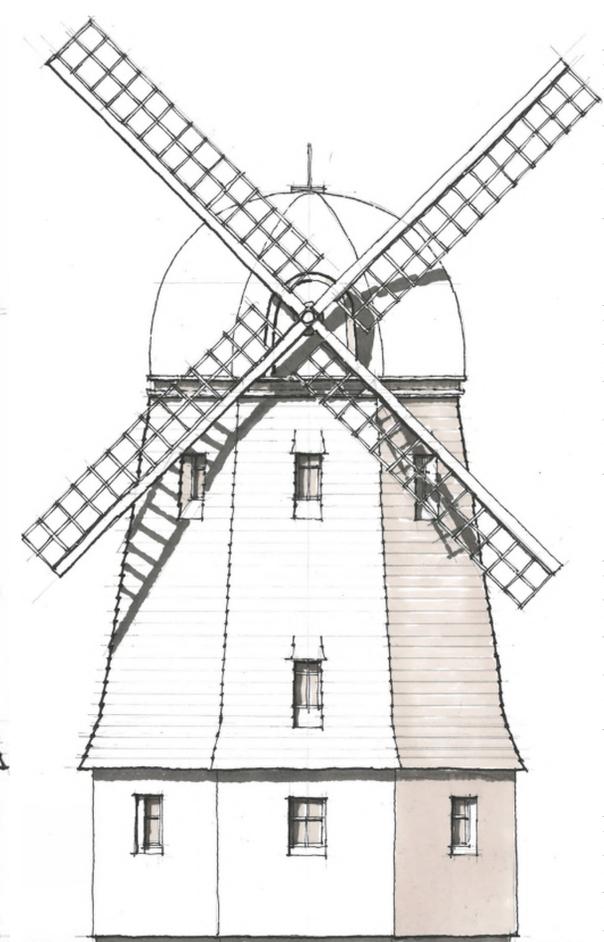
UNIT 1 BLDG A - RIGHT ELEVATION
1/4" = 1'-0"



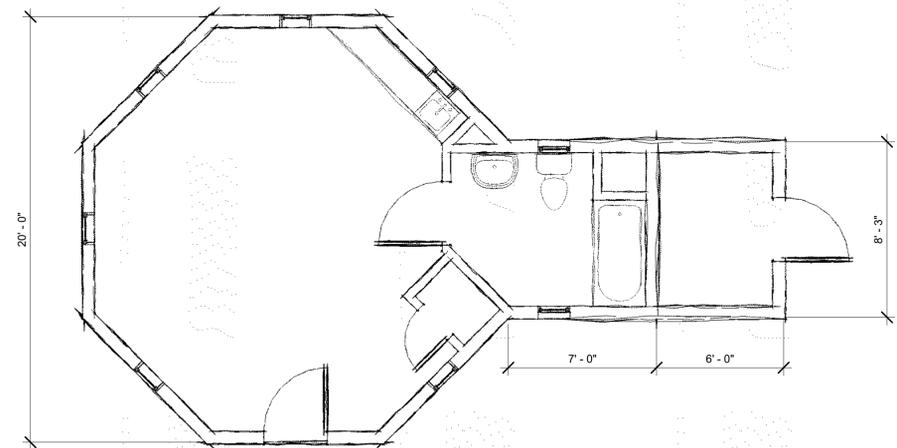
UNIT 1 BLDG A - REAR ELEVATION
1/4" = 1'-0"



UNIT 1 BLDG A - LEFT ELEVATION
1/4" = 1'-0"



UNIT 1 BLDG A - FRONT ELEVATION
1/4" = 1'-0"



UNIT 1 BLDG A - FLOOR PLAN
1/4" = 1'-0"

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ON DESIGN LLC
Architecture
Planning
Interior Design

Keith Nolan
C-22541

ON design LLC

• P.O. BOX 598 • Santa Barbara • California • 93102 •

HOTEL
1704 Mission Drive
Solvang, CA 93463
UNIT 1 - FLOOR PLANS & ELEVATIONS

Revision Schedule

Project Manager
Designer
Scale 1/4" = 1'-0"
PrintDate
8/3/2023 3:56:36 PM



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Interior Design

Keith Nolan
C-22541

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HOTEL
1704 Mission Drive
Solvang, CA 93463
UNIT 2 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

Project Manager
Designer
Scale 1/4" = 1'-0"
PrintDate 8/9/2023 7:31:31 PM



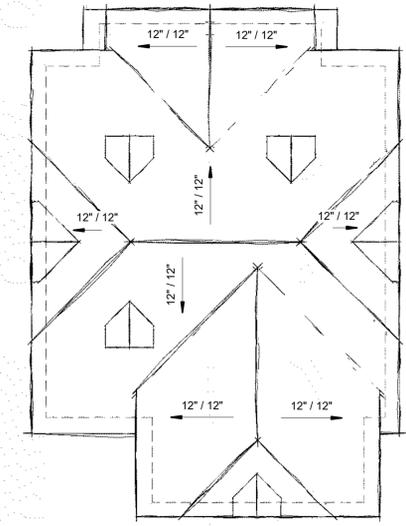
UNIT 2 BLDG E (MIRROR) - RIGHT ELEVATION

1/4" = 1'-0"



UNIT 2 BLDG E (MIRROR) - FRONT ELEVATION

1/4" = 1'-0"



UNIT 2 BLDG E (MIRROR) - ROOF PLAN

1/4" = 1'-0"



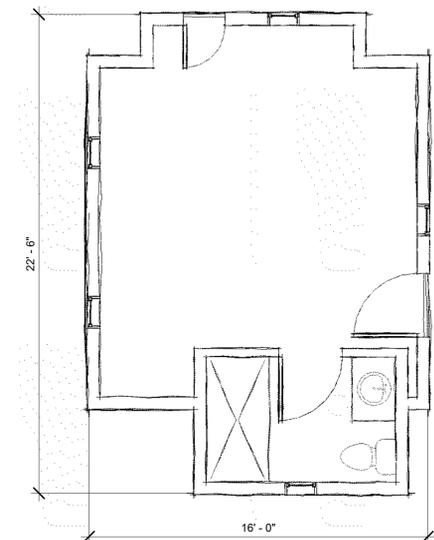
UNIT 2 BLDG E (MIRROR) - LEFT ELEVATION

1/4" = 1'-0"



UNIT 2 BLDG E (MIRROR) - REAR ELEVATION

1/4" = 1'-0"



UNIT 2 BLDG E (MIRROR) - FLOOR PLAN

1/4" = 1'-0"

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C-22541

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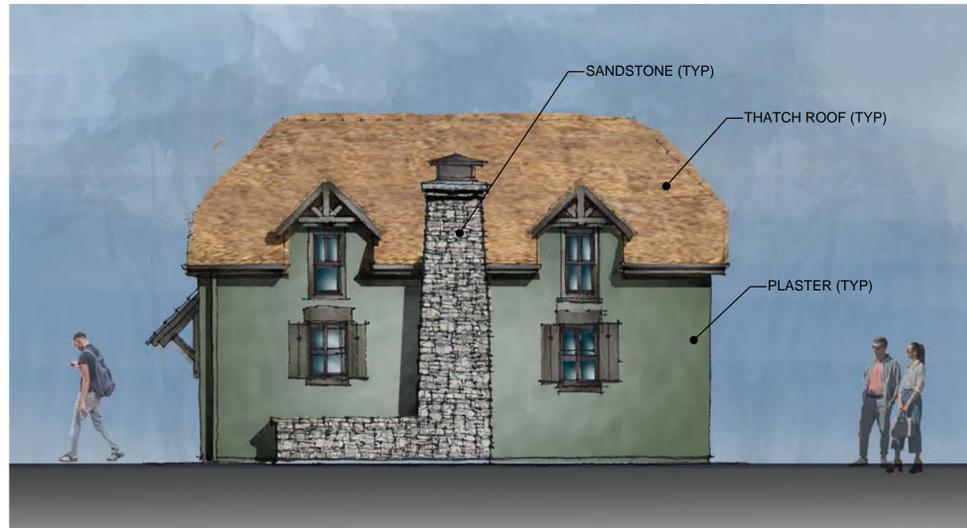
P.O. BOX 598 • Santa Barbara • California • 93102

HOTEL
1704 Mission Drive
Solvang, CA 93463
UNIT 3 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

Project Manager
Designer
Scale 1/4" = 1'-0"
PrintDate
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A-2.3



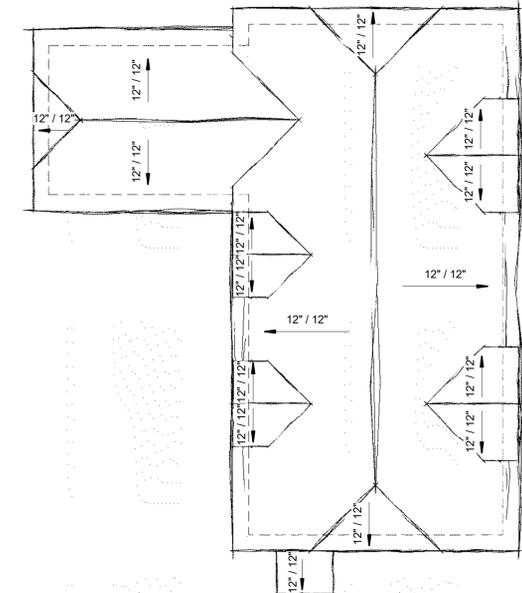
UNIT 3 BLDG B (MIRROR) - RIGHT ELEVATION

1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - FRONT ELEVATION

1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - ROOF PLAN

1/4" = 1'-0"



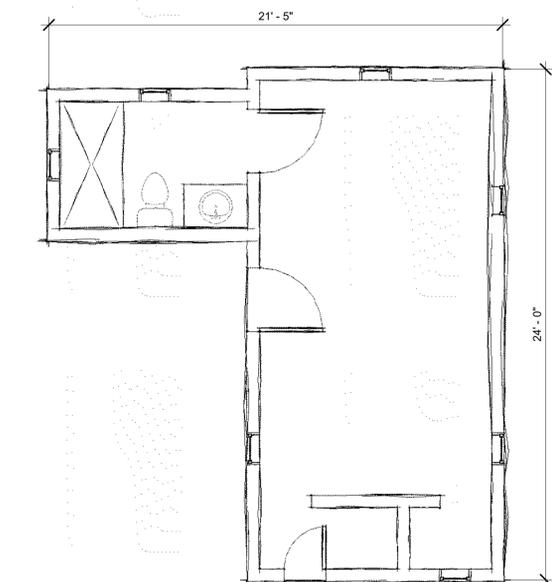
UNIT 3 BLDG B (MIRROR) - LEFT ELEVATION

1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - REAR ELEVATION

1/4" = 1'-0"



UNIT 3 BLDG B (MIRROR) - FLOOR PLAN

1/4" = 1'-0"

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PLANNING COMMISSION REVIEW SET

This project is under consideration by the City of Solvang Planning Commission. These Plans are not approved.



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UNIT 4 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

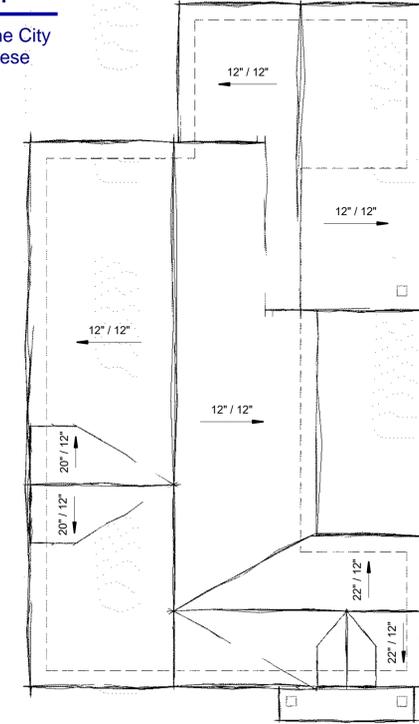
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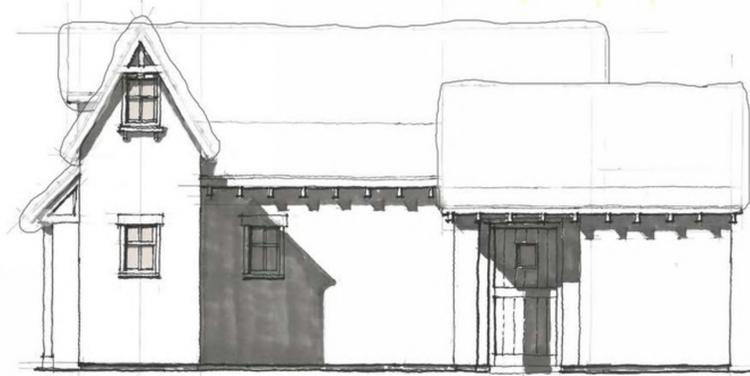
UNIT 4 BLDG D - LEFT ELEVATION
1/4" = 1'-0"



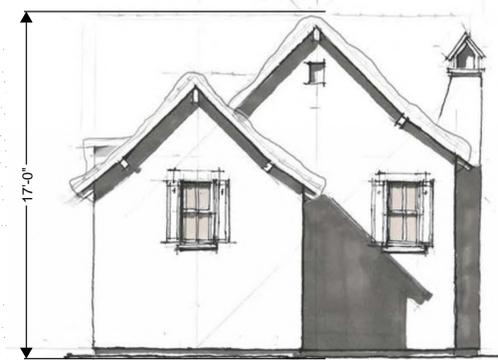
UNIT 4 BLDG D - FRONT ELEVATION
1/4" = 1'-0"



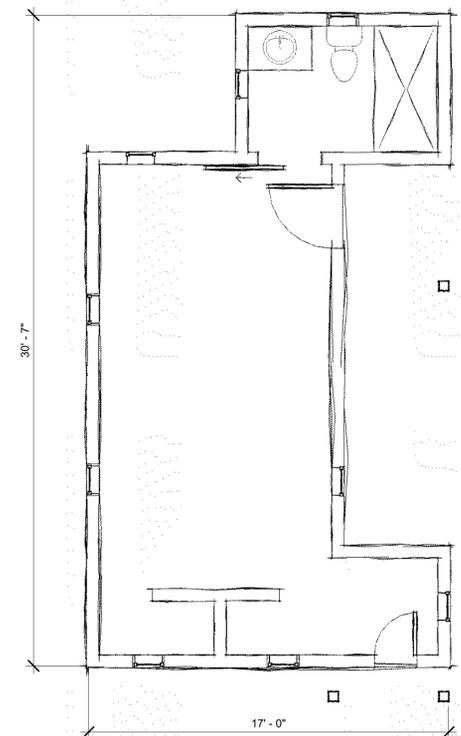
UNIT 4 BLDG D - ROOF PLAN
1/4" = 1'-0"



UNIT 4 BLDG D - RIGHT ELEVATION
1/4" = 1'-0"



UNIT 4 BLDG D - REAR ELEVATION
1/4" = 1'-0"



UNIT 4 BLDG D - FLOOR PLAN
1/4" = 1'-0"

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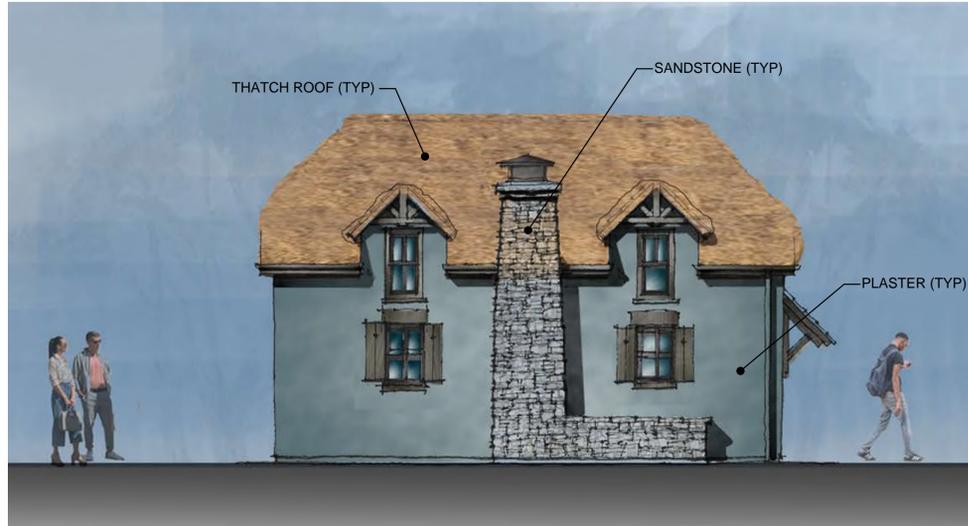
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HOTEL
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UNIT 5 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

Project Manager
Designer
Scale 1/4" = 1'-0"
PrintDate
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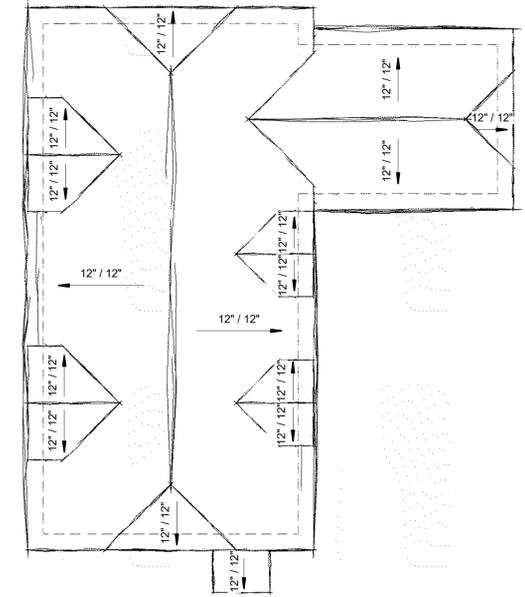
UNIT 5 BLDG B - LEFT ELEVATION

1/4" = 1'-0"



UNIT 5 BLDG B - FRONT ELEVATION

1/4" = 1'-0"



UNIT 5 BLDG B - ROOF PLAN

1/4" = 1'-0"



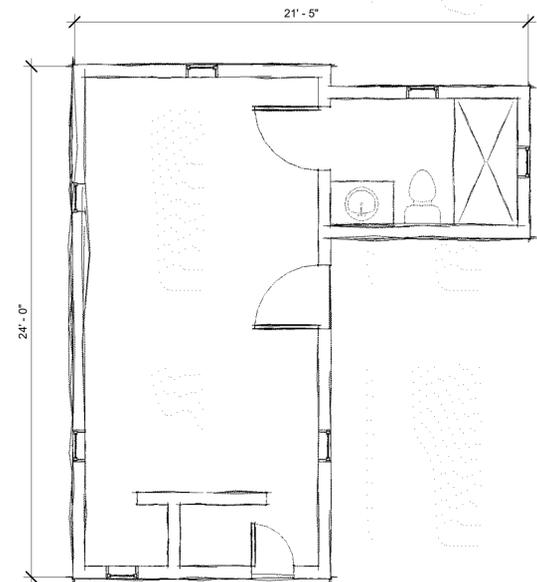
UNIT 5 BLDG B - RIGHT ELEVATION

1/4" = 1'-0"



UNIT 5 BLDG B - REAR ELEVATION

1/4" = 1'-0"



UNIT 5 BLDG B - FLOOR PLAN

1/4" = 1'-0"

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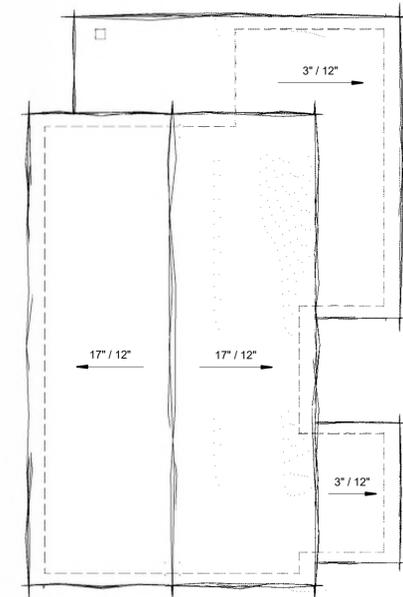
UNIT 6 BLDG C - LEFT ELEVATION

1/4" = 1'-0"



UNIT 6 BLDG C - FRONT ELEVATION

1/4" = 1'-0"



UNIT 6 BLDG C - ROOF PLAN

1/4" = 1'-0"



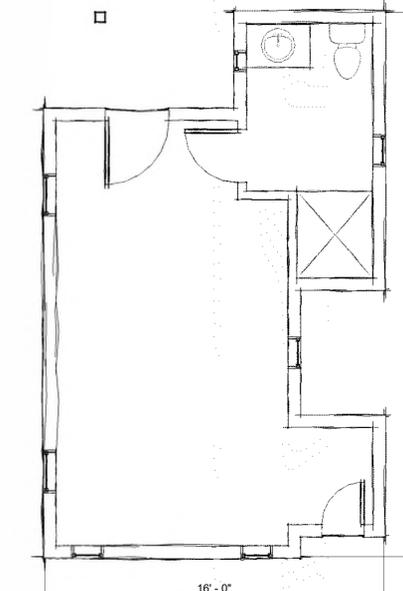
UNIT 6 BLDG C - RIGHT ELEVATION

1/4" = 1'-0"



UNIT 6 BLDG C - REAR ELEVATION

1/4" = 1'-0"



UNIT 6 BLDG C - FLOOR PLAN

1/4" = 1'-0"



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UNIT 6 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

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Designer
Scale 1/4" = 1'-0"
PrintDate 8/3/2023 4:07:04 PM

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HOTEL
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UNIT 7 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

Project Manager
Designer
Scale 1/4" = 1'-0"
PrintDate
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UNIT 7 BLDG B - LEFT ELEVATION

1/4" = 1'-0"



UNIT 7 BLDG B - FRONT ELEVATION

1/4" = 1'-0"



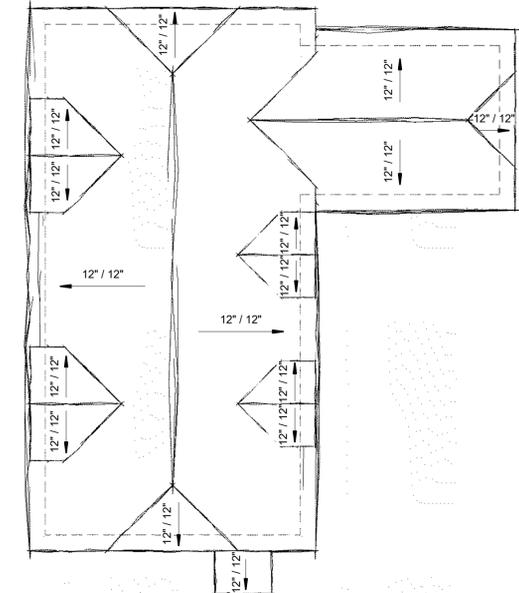
UNIT 7 BLDG B - RIGHT ELEVATION

1/4" = 1'-0"



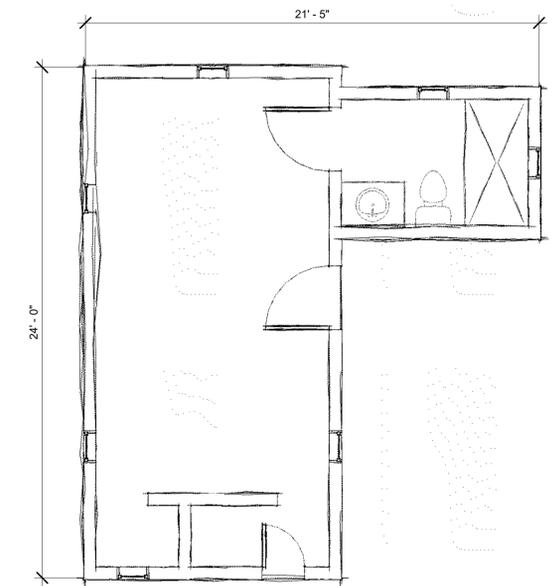
UNIT 7 BLDG B - REAR ELEVATION

1/4" = 1'-0"



UNIT 7 BLDG B - ROOF PLAN

1/4" = 1'-0"



UNIT 7 BLDG B - FLOOR PLAN

1/4" = 1'-0"

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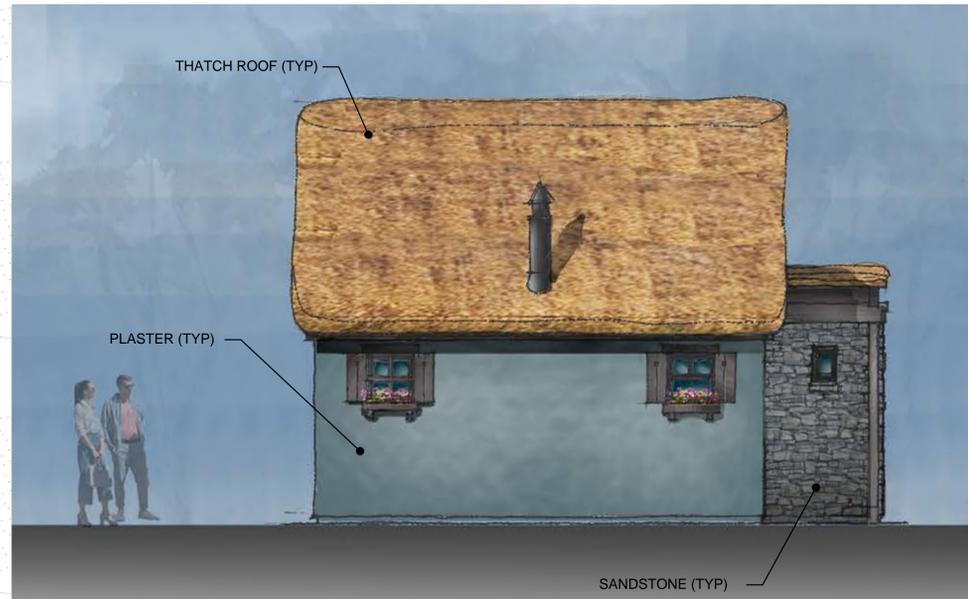
ON design LLC

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HOTEL
1704 Mission Drive
Solvang, CA 93463
UNIT 8 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

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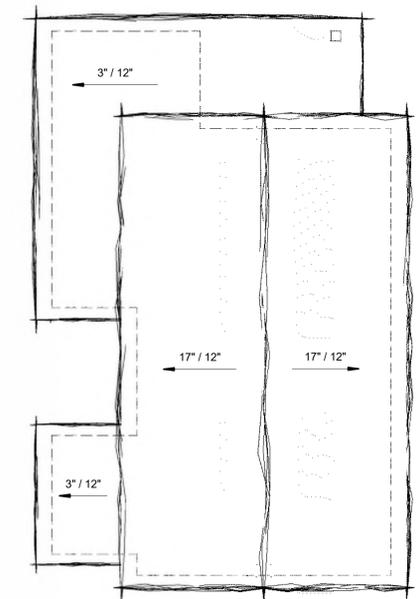
UNIT 8 BLDG C (MIRROR) - RIGHT ELEVATION

1/4" = 1'-0"



UNIT 8 BLDG C (MIRROR) - FRONT ELEVATION

1/4" = 1'-0"



UNIT 8 BLDG C (MIRROR) - ROOF PLAN

1/4" = 1'-0"



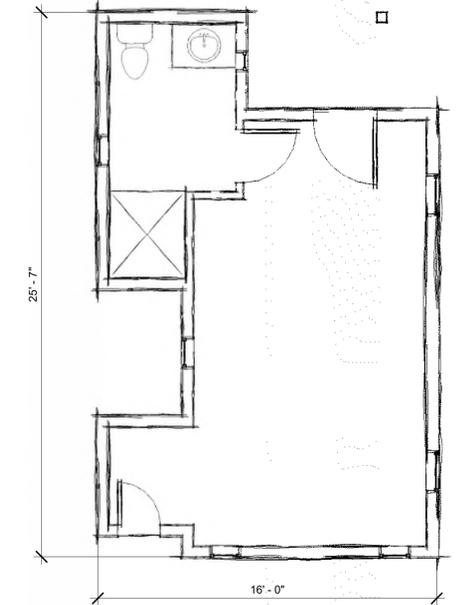
UNIT 8 BLDG C (MIRROR) - LEFT ELEVATION

1/4" = 1'-0"



UNIT 8 BLDG C (MIRROR) - REAR ELEVATION

1/4" = 1'-0"



UNIT 8 BLDG C (MIRROR) - FLOOR PLAN

1/4" = 1'-0"

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HOTEL
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UNIT 9 - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

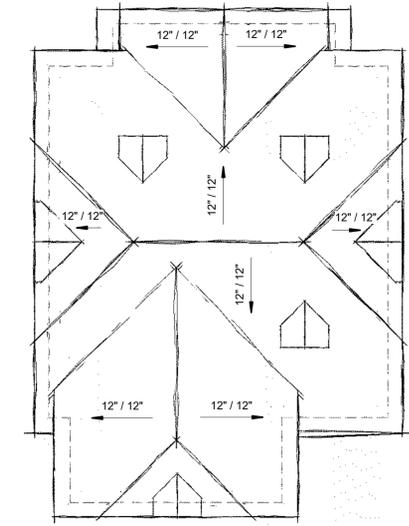
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Designer
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PrintDate
8/9/2023 7:40:36 PM



UNIT 9 BLDG E - LEFT ELEVATION
1/4" = 1'-0"



UNIT 9 BLDG E - FRONT ELEVATION
1/4" = 1'-0"



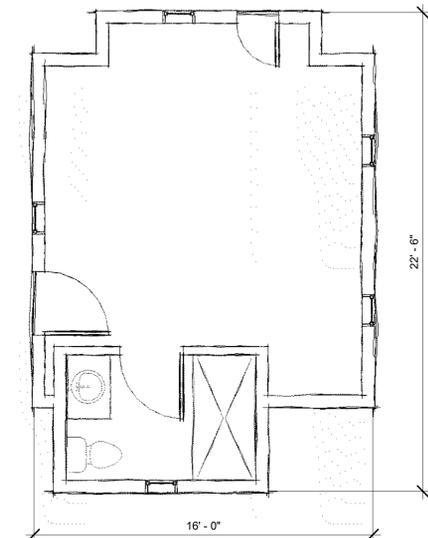
UNIT 9 BLDG E ROOF PLAN
1/4" = 1'-0"



UNIT 9 BLDG E - RIGHT ELEVATION
1/4" = 1'-0"



UNIT 9 BLDG E - REAR ELEVATION
1/4" = 1'-0"



UNIT 9 BLDG E - FLOOR PLAN
1/4" = 1'-0"

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C-22541

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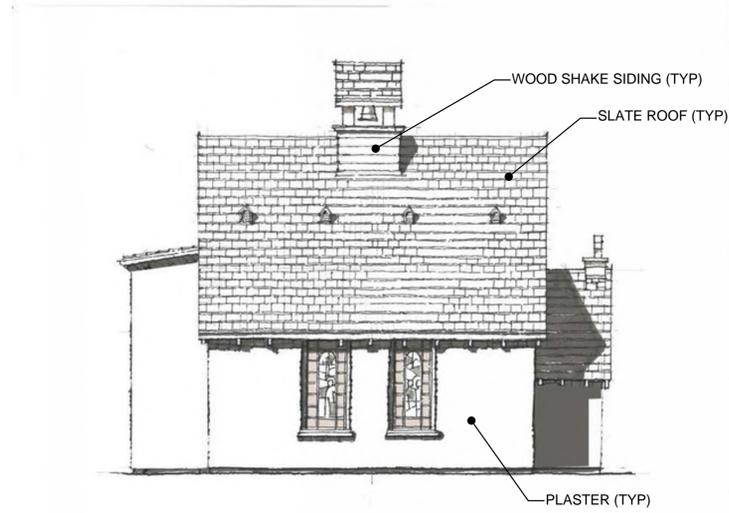
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HOTEL
1704 Mission Drive
Solvang, CA 93463
BLDG F - FLOOR, ROOF PLAN & ELEVATIONS

Revision Schedule

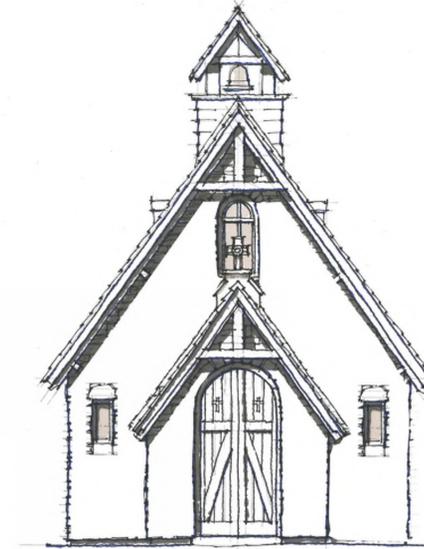
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A-2.10



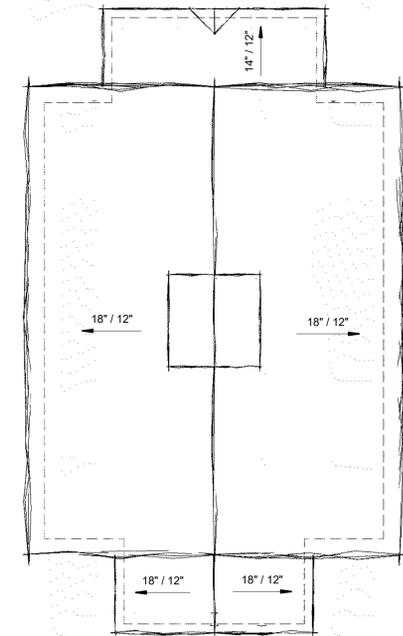
BLDG F - LEFT ELEVATION

1/4" = 1'-0"



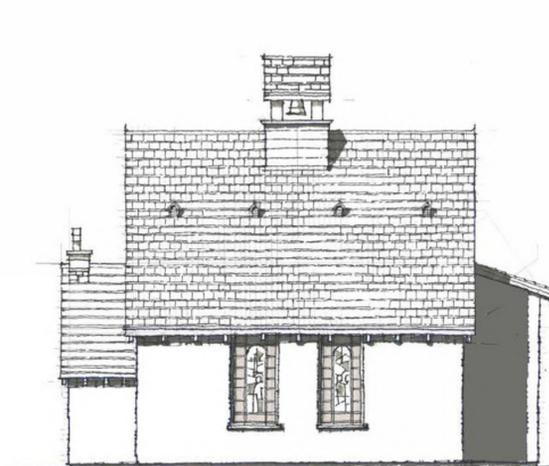
BLDG F - FRONT ELEVATION

1/4" = 1'-0"



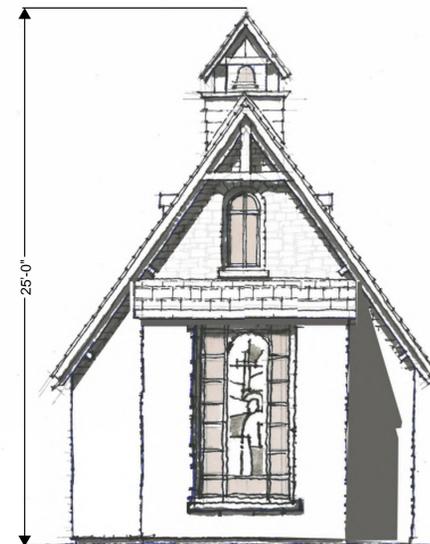
BLDG F - ROOF PLAN

1/4" = 1'-0"



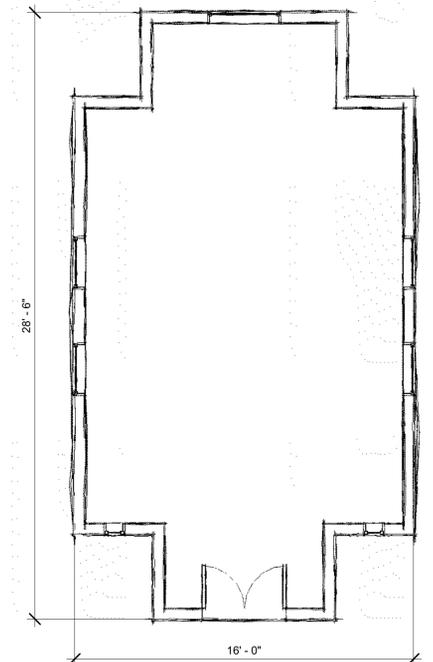
BLDG F - RIGHT ELEVATION

1/4" = 1'-0"



BLDG F - REAR ELEVATION

1/4" = 1'-0"



BLDG F - FLOOR PLAN

1/4" = 1'-0"

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VIEW 1: ALISAL ROAD VIEW



SECTION 1
SCALE: 1" = 10'



VIEW 2: ALISAL ROAD & MISSION DRIVE INTERSECTION VIEW

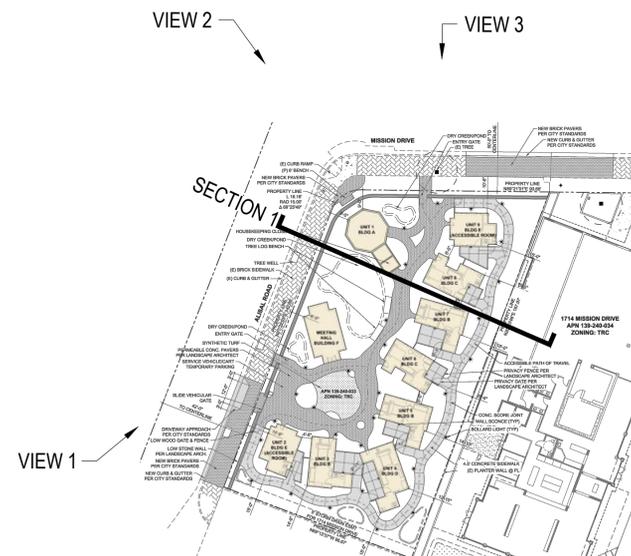


VIEW 3: MISSION DRIVE VIEW



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REVIEW SET**

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KEY MAP



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HOTEL
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Solvang, CA 93463
CONCEPTUAL PERSPECTIVES

Revisions

Project Manager
KN

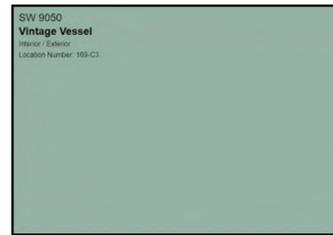
Drawn By

Scale

VARIES

Print Date

BODY COLOR PALETTE



TRIM COLOR PALETTE



PLANNING COMMISSION REVIEW SET

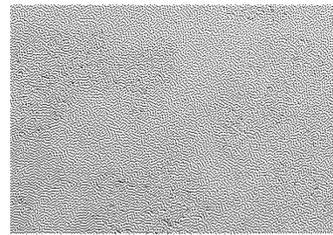
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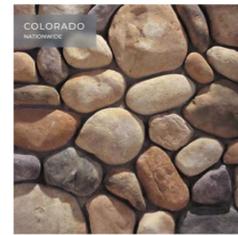
SIDING PALETTE



Smooth Trowel Plaster Finish



BUILDING STONE
Manufactured Sandstone
Manufacturer: Eldorado Stone
Model: RoughCut
Color: Vineyard Trail



WALL STONE
Manufactured Sandstone
Manufacturer: Eldorado Stone
Model: River Rock
Color: Colorado



Synthetic Shake
Manufacturer: James Hardie
Model: Hardie Shingle Staggered Edge

ROOFING PALETTE



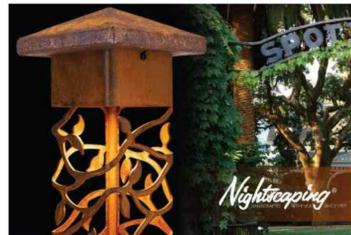
Synthetic Thatch
Manufacturer: Endureed
Model: Somerset



Synthetic Slate
Manufacturer: Brava
Color: Light Arendale



LIGHTING PALETTE



Bollard Light.
Manufacturer: Nightscaping
Model: 4x4 Ivy Design, 37" High



Manufacturer: Steven Handelman Studios
Model: Misc.

PAVEMENT MATERIALS



Permeable Pavers
Manufacturer: Pacific Interlock Pavers
Model: Hydro-Flo Rustic Cobble Pavers
Color: Painted Desert



B4 Painted Desert
(red/tan/charcoal)



Color Concrete
Finish: Top Cast/Acid Etch
Color: Davis Canyon 160



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HOTEL
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Solvang, CA 93463
PRELIMINARY COLORS AND MATERIALS

Revisions

Project Manager
KN

Drawn By

Scale

VARIES

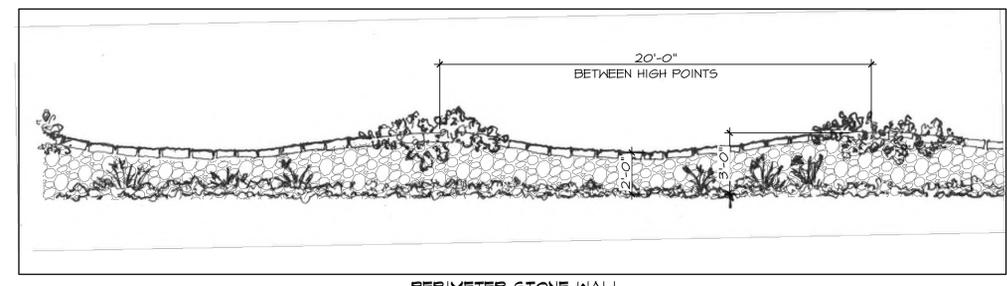
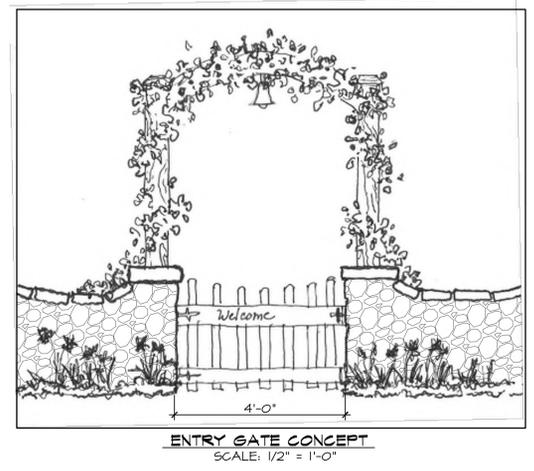
Print Date

- MISSION DRIVE LEGEND**
- 1 EXISTING STREET TREE- SYCAMORE
 - 2 UNDULATING STONE PERIMETER WALL WITH CLIMBING ROSES
 - 3 ENTRY GATES WITH VINE COVERED TRELLIS
 - 4 5 FOOT HEIGHT WOOD PRIVACY FENCES WITH VINES
 - 5 BIOSWALE
 - 6 DRY CREEK BED WITH BOULDERS, GRASSES AND COBBLE
 - 7 HYDROFLO PERMEABLE CONCRETE RUSTIC COBBLE PAVERS (COLOR TBD) WITH STONE COBBLE EDGING
 - 8 PLANTING AREA (VARIOUS SHRUBS, FLOWERING PLANTS, GRASSES AND GROUNDCOVERS WITH COTTAGE GARDEN FEEL)
 - 9 LARGE TREE- ISLAND OAK
 - 10 MEDIUM ACCENT TREE- CRAPE MYRTLE, EVERGREEN PEAR
 - 11 MEDIUM EVERGREEN TREE- ARBUTUS, FRUITLESS OLIVE, EVERGREEN PEAR
 - 12 SCREEN SHRUBS
 - 13 LOG BENCH
 - 14 SYNTHETIC TURF
 - 15 STREET TREES AS PER CITY OF SOLVANG- CRAPE MYRTLE
 - 16 LARGE TREE- CHINESE PISTACHE
 - 17 SMALL EVERGREEN- MAGNOLIA LITTLE GEM

PLANNING COMMISSION REVIEW SET

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- LEGEND**
- PROPERTY LINE
 - EXISTING CURB
 - EXISTING WALL
 - PROPOSED STRIPING
 - PROPOSED CURB
 - EDGE OF PAVEMENT
 - EXISTING ASPHALT PAVEMENT
 - EXISTING CONCRETE PAVEMENT
 - EXISTING PAVERS
 - NEW PERMEABLE CONCRETE PAVEMENT
 - NEW PERMEABLE PAVERS



SHEET INDEX

L-1	SITE/ LAYOUT PLAN
L-2	HYDROZONE PLAN
L-2.1	IRRIGATION PLAN
L-2.2	IRRIGATION LEGEND AND DETAILS
L-3	PLANTING PLAN
L-3.1	PLANTING DETAILS
L-4	TREE AND PLANTS IMAGES
L-4.1	PLANTING VIGNETTES

TOTAL LANDSCAPE AREA: 7,760 SQ. FT.
WATER SUPPLY TYPE: POTABLE
WATER PURVEYOR THE CITY OF SOLVANG
PROJECT TYPE: NEW



I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

Signature: *[Signature]*
SAM MAPHIS IV
8/9/23



PRELIMINARY SITE/ LAYOUT PLAN



The landscape architect and his consultants do not warrant or guarantee the accuracy and completeness of the work product herein beyond a reasonable diligence. If any mistakes, omissions, or discrepancies are found to exist within the work product, the landscape architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the landscape architect of such conditions shall absolve the landscape architect from any responsibility for the consequences of such discrepancies. Actions without the knowledge and consent of the landscape architect or in contradiction to the landscape architect's work product or recommendations shall become the responsibility not of the landscape architect but of the parties responsible taken such action. This plan and design are the exclusive property of Earthform Design and cannot be used or reproduced without the landscape architect's written consent.



HYDRO ZONE LEGEND

- ZONE 1 LOW USE- PLANTS= 6,261 S.F.
- ZONE 2 MEDIUM USE- PLANTS= 1,211 S.F.
- ZONE 3 DRIP LOW USE- TREES= 176 S.F.
- ZONE 4 DRIP MEDIUM USE- TREES= 112 S.F.

(E) BUILDING

**PLANNING
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SCALE: 1" = 10'-0"

WATER CALCULATIONS

WATER EFFICIENT LANDSCAPE WORKSHEET

1704 Mission Dr
Solvang, CA
PRELIMINARY CALCULATIONS
8/9/23
Prepared according to the California Code of Regulations, Chapter 2.7. Model Water Efficient Landscape Ordinance (rev. 12/1/15)
By Earthform Design, Landscape Architects
Reference evapotranspiration (Eto) for Solvang is 45.6 45.6

SECTION A. HYDROZONE INFORMATION TABLE

HYDRO ZONE #	valve #	PLANT TYPE	Wuccls plant factor (PF)	irrigation method	irr. effic. (IE)	ETAF (PF/IE)	area (HA) (sq ft)	ETAF x Area	Estimated Total water Use (ETWU)	% of landscape	
Regular Landscape Areas											
1		low use shrubs and groundcover	0.2	DRIP	0.81	0.25	6,261	1546	43,706	81%	
2		Medium use plants	0.4	DRIP	0.81	0.49	1,211	598	16,907	16%	
3		Low use trees	0.2	DRIP	0.81	0.25	176	43	1,229	2%	
4		Med use trees	0.4	DRIP	0.81	0.49	112	55	1,564	1%	
							TOTALS	7,760 (A)	2243 (B)	63,406	100%
Special Landscape areas (SLA)											
							1	0 (C)	0 (D)		
							TOTAL LANDSCAPE AREA	7760			
							TOTAL ETAF		2243		
									ETWU TOTAL	63,406	
									MAWA TOTAL	120,665	

ETWU COMPLIES WITH MAWA

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) CALCULATIONS

MAWA = (Eto) (0.62) [(0.55 x LA) + ((1-ETAF) x SLA)]
Annual Eto for SOLVANG is 45.6
where:
MAWA Maximum Applied Water Allowance (gallons per year)
Eto Reference Evapotranspiration from Appendix A (inches per year)
0.55 ET Adjustment Factor (ETAF) *revised effective June 1, 2015* FOR RESIDENTIAL AREAS
LA Landscaped Area includes Special Landscape Area (square feet)
0.62 Conversion factor (to gallons per square foot)
SLA Portion of the landscape area identified as Special Landscape Area (square feet)
0.45 the additional ET Adjustment Factor for Special Landscape Area * revised effective June 1, 2015* AND FOR NON RESIDENTIAL AREAS

MAWA CALCULATIONS:

ETG	conv. Factor	ETAF	LA	1-ETAF	SLA	total				
45.6	x	0.62	0.55	x	7,760	+	1-.45	0		
								0.55 x	0	
		26	x	4268	+	0				
									total	120,665

ESTIMATED TOTAL WATER USE (ETWU) CALCULATIONS:

ETWU = (Eto)(0.62) (ETAF) (AREA)
Annual Eto for Buellton is 45.6
where:
ETWU = Estimated total water use per year (gallons per year)
Eto = Reference Evapotranspiration (inches per year)
PF = Plant Factor from WUCOLS
HA = Hydrozone Area [high, medium, and low water use areas] (square feet)
0.62 = Conversion Factor
IE = Irrigation Efficiency (minimum 0.71)
SLA = Special Landscape Area (square feet)

ETAF CALCULATIONS:

Regular Landscape Areas

TOTAL ETAF X Area	(B)	2,243
TOTAL Area	(A)	7,760
Average ETAF	B / A	0.29

All Landscape Areas

TOTAL ETAF X Area	(B + D)	2243
TOTAL Area	(A + C)	7760
Sitewide ETAF	(B+D) / (A + C)	0.29

AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS
MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND
0.45 OR BELOW FOR NON-RESIDENTIAL AREAS

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

[Signature]
Signature: SAM MAPHIS IV
8/9/23



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PRELIMINARY HYDROZONE PLAN



IRRIGATION LEGEND

SYMBOL	MANUFACTURER/ DESCRIPTION	PSI	GPM	RADIUS
(A) L-2.2	FOC POINT OF CONNECTION DETAIL			
(B) L-2.2	MASTER GATE VALVE			
(E) L-2.2	ISOLATION VALVE BALL VALVE AT MANIFOLD			
(F) L-2.2	RAINBIRD DRIP ASSEMBLY CONTROL ZONE KIT XGZ-100-PRB-COM (SEE PLAN FOR SIZE)			
(F) L-2.2	HUNTER-HQ44LRQ QUICK COUPLING VALVE, WITH LOCKING COVER			
(G)	HUNTER OR RAINBIRD SMART CONTROLLER-12 STATION CONTROLLER. PROVIDE POWER TO CLOCK			
(Dashed Red Line)	IRRIGATION MAIN SCHEDULE 40 PVC PRESSURE LINE- 18" BELOW GRADE (SEE PLAN FOR SIZE)			
(Solid Red Line)	SCHED. 40 PVC LATERAL- 12" BELOW GRADE			
(Dotted Line)	CLASS 200 PVC SLEEVING- 24" BELOW TOP OF PAVING			
(C) L-2.2	DRIP RISER CONNECTOR TO XERI TUBE TOO DISTRIBUTION TUBING W/ XERI-BUS EMITTERS. (XERITUBE TO BE CONNECTED TO PVC LATERAL W/ 1/2", TOO SERIES COMPRESSION FITTINGS.)	20	2 GPH	---
(Circle with 'e')	DRIP CIRCLE AT TREES, REFERENCE (F/ L-2.2) FOR NUMBER OF EMITTERS			

IRRIGATION NOTES:

- CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION WITH OWNER ON LOCATION OF EXISTING UNDERGROUND UTILITY AND IRRIGATION LOCATIONS.
- CONTRACTOR TO BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANTED AREAS. (LAWN, TREES, SHRUBS, AND GROUND COVER.)
- IRRIGATION PLAN TO BE COORDINATED WITH PLANTING PLAN AND ADJUSTMENTS MADE IN THE FIELD
- IN CASE OF DISCREPANCY, CONTACT LANDSCAPE ARCHITECT IMMEDIATELY, BEFORE PROCEEDING WITH WORK.
- PRESSURE AT MAIN WATER SUPPLY TO BE VERIFIED BEFORE PROCEEDING. PRESSURE TEST NEW IRRIGATION MAIN FOR 24 HOURS BEFORE BACK FILL COVERING. A PRESSURE REGULATOR MAY BE NECESSARY FOR OPTIMUM SYSTEM PERFORMANCE.
- ALL IRRIGATION LINES ARE DRAWN DIAGRAMMATICALLY AND SHOULD BE LOCATED IN COMMON TRENCHES AND PLANTING AREAS WHERE POSSIBLE.
- VERIFY LOCATION OF EXISTING IRRIGATION SYSTEM IN THE FIELD.
- SLEEVE UNDER PAVING (CLASS 200 PVC MIN.)- 24" UNDER PAVING
- INSTALL ALL IRRIGATION EQUIP AS PER MANUFACTURER'S INSTRUCTIONS.
- USE GREEN OR BLACK PLASTIC (AMTEK, CARSON OR EQUAL) VALVE BOXES. ONE VALVE PER BOX.
- ANY IRRIGATION TRENCHING UNDER OR NEXT TO OAK TREE DRIFLINE IS TO BE DONE BY HAND AND ANY LARGER ROOTS 1" DIAMETER OR LARGER ARE TO BE JETTED UNDER AND ARBORIST IS TO BE ON SITE TO OBSERVE AND MAKE RECOMMENDATIONS FOR PRESERVATION OF OAK TREES.
- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR EFFICIENT USE OF WATER IN THE DESIGN PLAN.
- PRESSURE REGULATING DEVICES SHALL BE INSTALLED WHERE NECESSARY TO ENSURE THAT THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE.
- ALL IRRIGATION EMISSION DEVICES WILL MEET THE CRITERIA AS SET FORTH IN MNELO SECTION 492.7(a)(1)(M) AND SHALL BE INSTALLED AND OPERATED ACCORDING TO MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS.

LATERAL SCHEDULE (SIZE CHART)

GPM	PVC CLASS 40 PIPE SIZE
1-4	1/2"
5-8	3/4"
9-12	1"
12-22	1-1/4"
22-30	1-1/2"
30-45	2"
45 & UP	2-1/2"



PLANNING COMMISSION REVIEW SET

This project is under consideration by the City of Solvang Planning Commission. These Plans are not approved.

NORTH



SCALE: 1" = 10'-0"

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

[Signature]
Signature

SAM MAPHIS IV
8/9/23

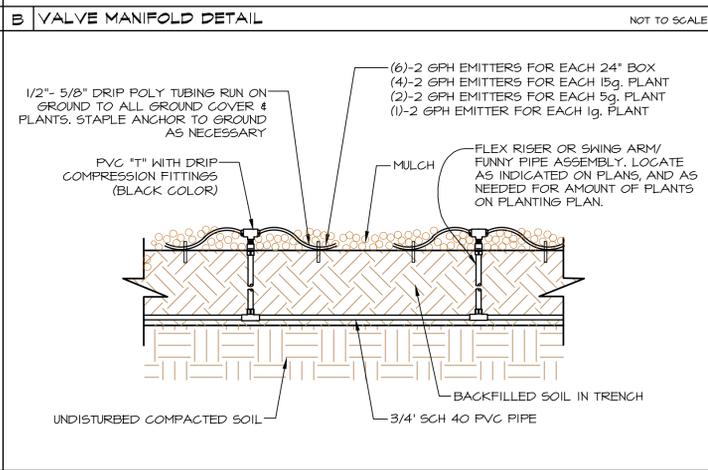
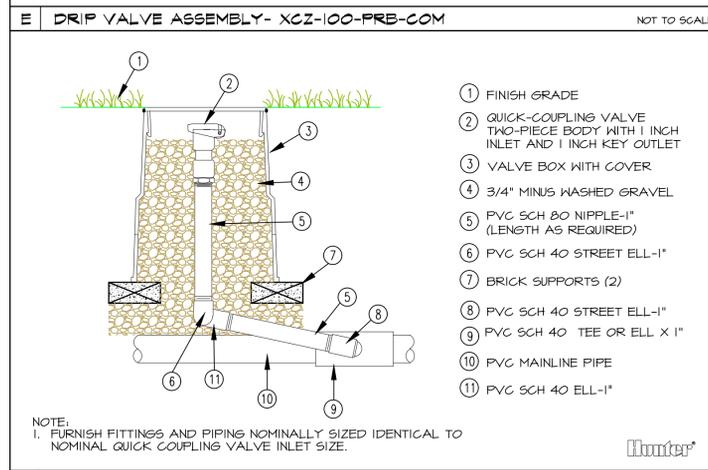
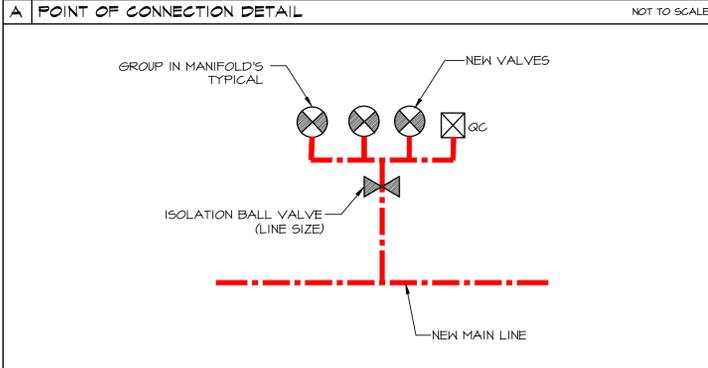
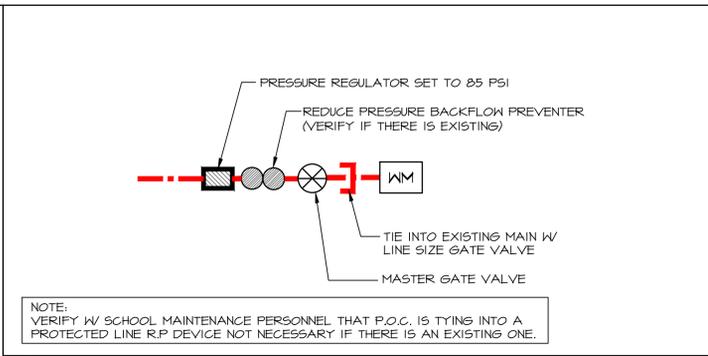
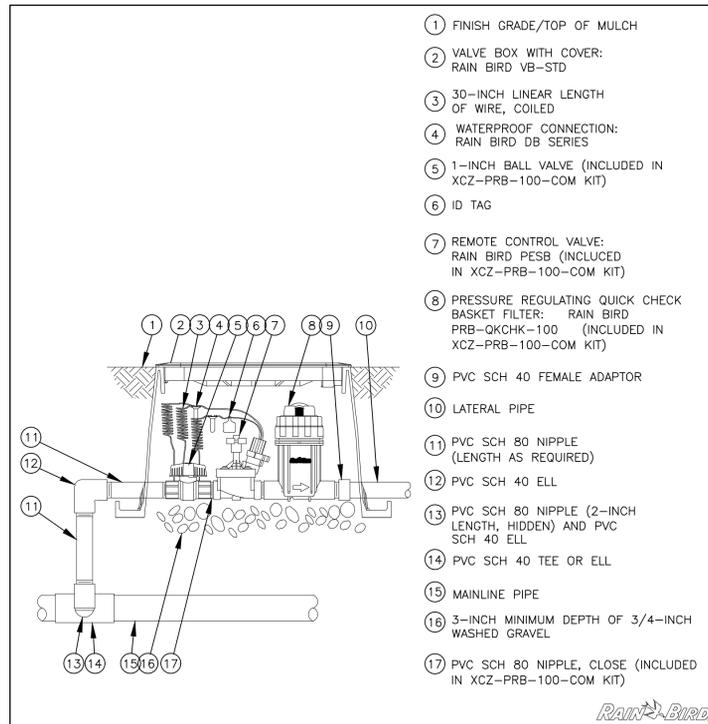


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PRELIMINARY IRRIGATION PLAN

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IRRIGATION DETAILS



IRRIGATION LEGEND

SYMBOL	MANUFACTURER/ DESCRIPTION	PSI	GPM	RADIUS
(A) L-2.2	POC POINT OF CONNECTION DETAIL			
(B) L-2.2	MASTER GATE VALVE			
(E) L-2.2	ISOLATION VALVE BALL VALVE AT MANIFOLD			
(F) L-2.2	RAINBIRD DRIP ASSEMBLY CONTROL ZONE KIT XCZ-100-PRB-COM (SEE PLAN FOR SIZE)			
(C) L-2.2	HUNTER- HQ44LRC QUICK COUPLING VALVE, WITH LOCKING COVER			
(D) L-2.2	HUNTER OR RAINBIRD SMART CONTROLLER-12 STATION CONTROLLER. PROVIDE POWER TO CLOCK			
(C) L-2.2	IRRIGATION MAIN SCHEDULE 40 PVC PRESSURE LINE- 18" BELOW GRADE (SEE PLAN FOR SIZE)			
(C) L-2.2	SCHED. 40 PVC LATERAL- 12" BELOW GRADE			
(C) L-2.2	CLASS 200 PVC SLEEVING- 24" BELOW TOP OF PAVING			
(C) L-2.2	DRIP RISER CONNECTOR TO XERI TUBE TOO DISTRIBUTION TUBING W/ XERI-BUG EMITTERS. (XERITUBE TO BE CONNECTED TO PVC LATERAL W/ 1/2", TOO SERIES COMPRESSION FITTINGS.)	20	2 GPH	---
(C) L-2.2	DRIP CIRCLE AT TREES, REFERENCE (F/ L-2.2) FOR NUMBER OF EMITTERS			

IRRIGATION NOTES:

- CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION WITH OWNER ON LOCATION OF EXISTING UNDERGROUND UTILITY AND IRRIGATION LOCATIONS.
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LATERAL SCHEDULE (SIZE CHART)

GPM	PVC CLASS 40 PIPE SIZE
1-4	1/2"
5-8	3/4"
9-12	1"
12-22	1-1/4"
22-30	1-1/2"
30-45	2"
45 & UP	2-1/2"



PLANNING COMMISSION REVIEW SET

This project is under consideration by the City of Solvang Planning Commission. These Plans are not approved.

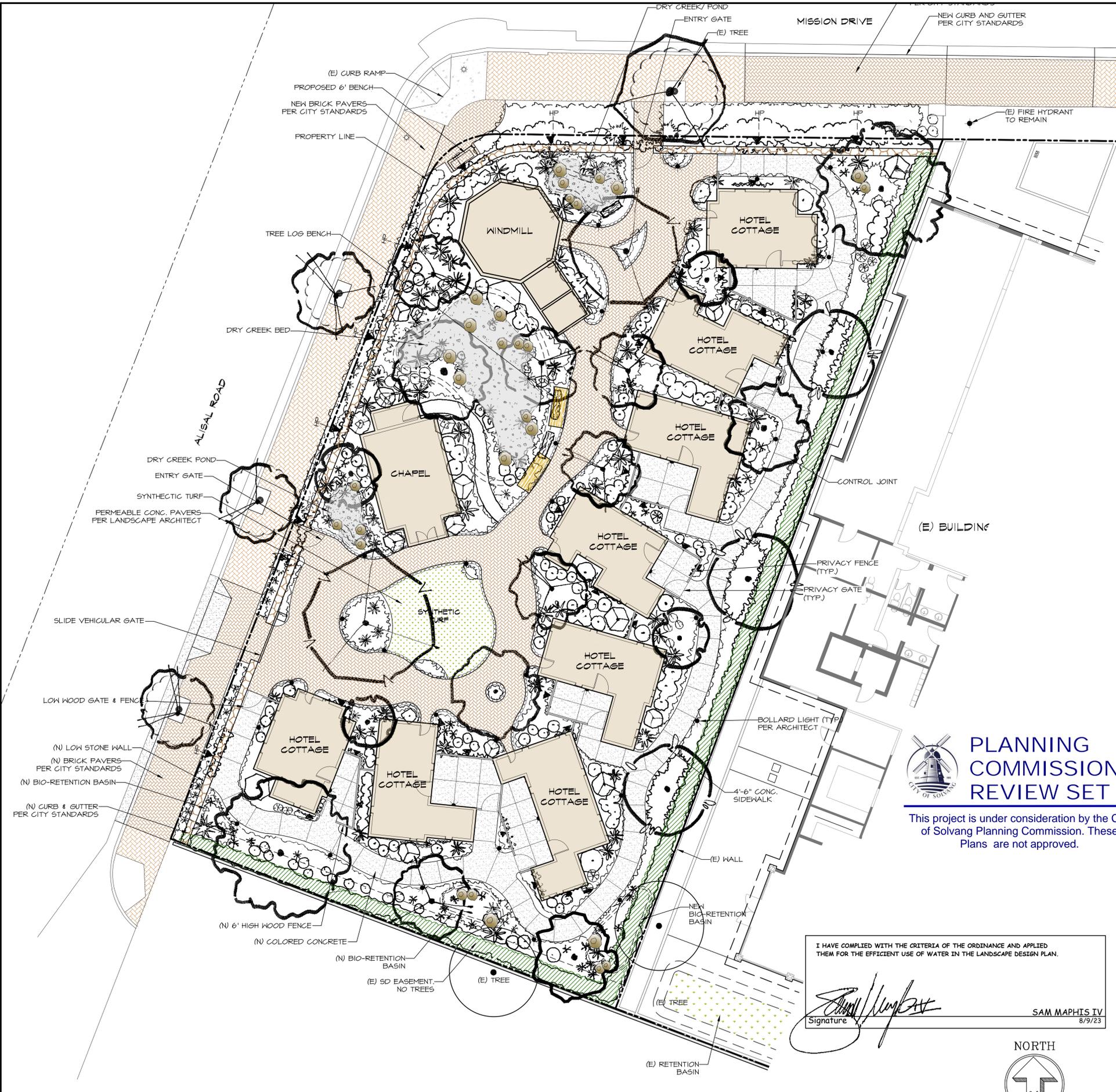
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Sam Maphis
Signature

SAM MAPHIS IV
8/9/23



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BOTANICAL NAME	COMMON NAME	WUCOLS PLANT FACTOR	NOTES
TREES (24"-48" Box)			
Such as:			
ARBUS MARINA	NCN	L	
LAGERSTROEMIA INDICA	GRAPE MYRTLE	L	
MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	M	
OLEA SWAN HILL	FRUITLESS OLIVE	L	
PISTACIA CHINENSIS	CHINESE PISTACHE	L	
PYRUS KAWAKAMII	EVERGREEN PEAR	M	
QUERCUS TOMENTELLA	ISLAND OAK	L	
L6 SHRUBS/SMALL TREES (5 gal-15 gal)			
Such as:			
CERCIS OCCIDENTALIS	CALIFORNIA REDBUD	L	
COTINUS COCGRYIA	SMOKE BUSH	L	
PHOTINIA FRASERI	PHOTINIA	M	
SCREEN HEDGE (15 gal)			
Such as:			
ELAEOCARPUS DECIPIENS	JAPANESE BLUE BERRY	M	
LAURUS NOBILIS	BAY LAUREL	L	
LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET	L	
LARGE FLOWERING SHRUBS (5gal-15gal)			
Such as:			
CEANOTHUS VARIETIES	CALIFORNIA LILAC	L	
HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	L	
VIBURNUM SPRING BOUQUET		M	
LAGERSTROEMIA HYBRIDS (SHRUB FORM)	GRAPE MYRTLE	L	
HOPI, PECOS, DYNAMITE, GLENDORA WHITE, PETITE SERIES.		L	
PITTOSPORUM T. VARIEGATA		L	
SHRUBS AND HERBACEOUS (1gal-5gal)			
Such as:			
ACHILLEA HYBRIDS	YARROW	L	
ALSTROEMERIA	PURUVIAN LILY	L	
CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLE BRUSH	L	
CENTRANTHUS RUBER	RED AND WHITE VALERIAN	VL	
CERASTIUM TOMENTOSUM	SNOW IN SUMMER	M	
ERIGERON KARVASKIANAS	SANTA BARBARA DAISY	L	
HEMEROCALLIS HYBRIDS	EVERGREEN DAYLILY	M	
HEUCHERA VARIETIES	CORAL BELLS	L	
IRIS VARIETIES	IRIS (DOUGLAS, BEARDED)	L	
KNIPHOFIA VARIETIES	RED HOT POKERS	L	
LAVENDULA HIDCOTE	HIDCOTE LAVENDER	L	
NEPETA FAASENII	CATMINT	M	
PELARGONIUM PELTATUM	IVY GERANIUM	L	
RAHIOLEPIS U. MINOR	DWARF YEPPON	L	
ROSA SPECIES	SHRUB ROSE	L/M	
ROSMARINUS SPECIES	ROSEMARY	L	
SALVIA L. MIDNIGHT	MIDNIGHT BUSH SAGE	L	
SALVIA CHITAPENSIS	CHITAPAS SAGE	M	
SALVIA COAHUILIENSIS	COAHUILA SAGE	L	
SALVIA L. 'WAVERLY'	WAVERLY SAGE	L	
SEDUM VARIETIES	SEDUM	L	
STACHYS LANATA	LAMB'S EARS	L	
THYMUS SPP	THYME VARIETIES	L	
WESTRINGEA SPECIES	AUSTRALIAN ROSEMARY	L	
ORNAMENTAL GRASSES			
Such as:			
MISCANTHUS MORNING LIGHT	MORNING LIGHT BANNER GRASS	L	
PENNISETUM 'FAIRY TAILS'	FAIRY TAILS FOUNTAIN GRASS	L	
PENNISETUM ORIENTALIS	ORIENTAL FOUNTAIN GRASS	L	
PENNISETUM RUBRUM	RED FOUNTAIN GRASS	L	
BIO SWALE (1gal - 5gal)			
Such as:			
CAREX DIVULSA	BERKELEY SEDGE	L	
CHONDROPETALUM TECTORUM	CAPE REED	L	
ORNAMENTAL GRASSES		L	
LOMANDRA PLATINUM BEAUTY	MAT RUSH	L	
IRIS DOUGLASSIANA	DOUGLAS IRIS	L	
VINES AND ESPALIERS (1gal - 5gal)			
Such as:			
HEDERA HELIX	ENGLISH IVY	M	
ROSA CLIMBING	CLIMBING ROSES	L/M	(CECIL BRUNNER, ICEBERG, APRICOT BUFF, ETC.)
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	L	
SOLANUM JASMINOIDES	POTATO VINE	M	

PLANNING COMMISSION REVIEW SET

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I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Sam Mapis IV
Signature

SAM MAPIS IV
8/9/23



SCALE: 1" = 10'-0"

- PLANTING NOTES**
1. PLANT LIST IS FOR CONVENIENCE OF CONTRACTOR. PLAN IS TO PREVAIL AND LANDSCAPE ARCHITECT AND OWNER TO MAKE FINAL ADJUSTMENTS AS NECESSARY.
 2. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION WITH SCHOOL SUPERINTENDENT & LANDSCAPE ARCHITECT FOR LOCATION OF UNDERGROUND UTILITIES.
 3. CONTRACTOR TO BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANTED AREA.
 4. IRRIGATION TO BE COORDINATED WITH PLANTING PLAN.
 5. ALL PLANTER AREAS SHALL BE AMENDED WITH 4 CU. YDS. OF FOREST HUMUS MULCH AND 150 LBS. OF GRC-POWER PLUS, PER 1,000 SQ. FT. OF PLANTED AREA. PLANTER MIX TO BE 50% NATIVE MIX SOIL AND 50% PLANTER MIX ABOVE FOR ALL BACK FILL OF NEW PLANTS.
 6. PLANT MATERIAL MAY BE SUBJECT TO CHANGE AS PER OWNER OR LANDSCAPE ARCHITECTS DISCRETION.
 7. ANY CLARIFICATION OR QUESTIONS ON PLANS, SPECIFICATIONS AND DETAILS SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK.
 8. ALL PLANTER AREAS TO BE TOP DRESSED WITH SHREDDED CEDAR/ REDWOOD MULCH AT A DEPTH OF 3".



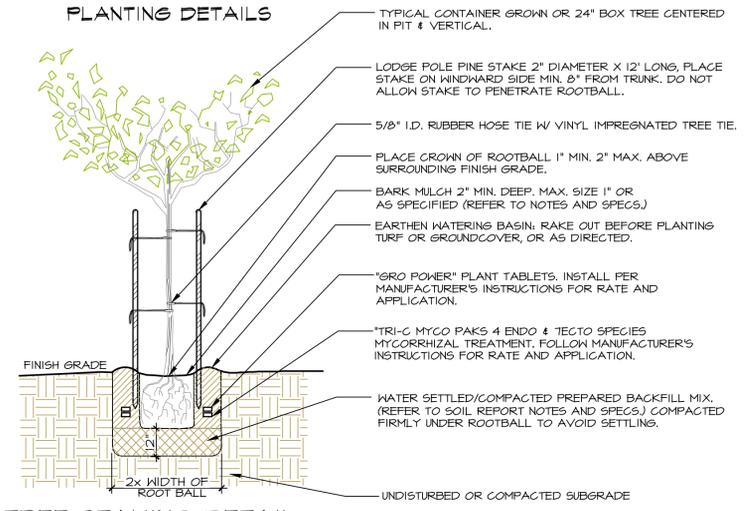
PRELIMINARY PLANTING PLAN

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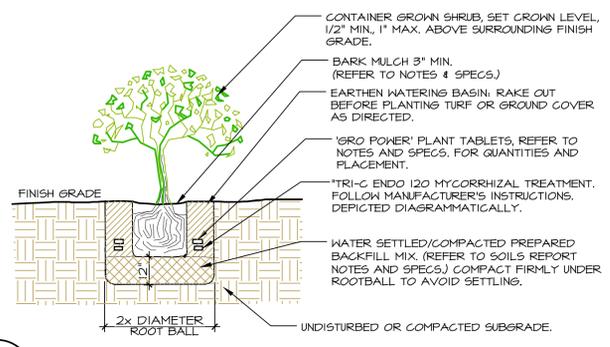
SOILS MANAGEMENT REPORT

TO BE SUBMITTED AT THE TIME OF INSTALLATION

CERTIFICATE OF COMPLETION



A TREE STAKING DETAIL NOT TO SCALE



B SHRUB PLANTING DETAIL NOT TO SCALE



PLANNING COMMISSION REVIEW SET

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I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

[Signature]
Signature

SAM MAPHIS IV
8/9/23



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TREES



QUERCUS TOMENTELLA MAGNOLIA LITTLE GEM PYRUS KAWAKAMII LAGERSTROEMIA INDICA



PISTACIA CHINENSIS OLEA SWAN HILL ARBUTUS MARINA

LARGE SHRUBS/SMALL TREES



CERCIS OCCIDENTALIS COTINUS COGGRYIA

LARGE FLOWERING SHRUBS



HYDRANGEA QUERCIFOLIA PITTOSPORUM T. VARIEGATA

SCREEN HEDGE



LAURUS NOBILIS LIGUSTRUM J. TEXANUM



PLANNING COMMISSION REVIEW SET

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SHRUBS AND HERBACEOUS



ACHILLEA HYBRIDS CERASTIUM TOMENTOSUM HEMEROCALLIS HYBRIDS HUECHERA VARIETIES IRIS VARIETIES



LAVENDULA HIDCOTE NEPETA FAASSENI RAHIOLEPIS U. MINOR ICEBERG ROSE ROSMARINUS 'TUSCAN BLUE'



SALVIA L. MIDNIGHT SALVIA CHIAPENSIS SALVIA L. WAVERLY THYMUS SPP. STACHYS LANATA

BIO SWALE/DRY CREEK



CAREX DIVULSA PENNISETUM ORIENTALIS PENNISETUM FAIRY TALES LOMANDRA PLATINUM BEAUTY IRIS DOUGLASIANA



SESLERIA GREENLEE MISCANTHUS MORNING LIGHT CHONDROPETALUM TECTORUM

VINES AND ESPALIERS



ROSA CLIMBING HEDERA HELIX PARTHENOCISSUS TRICUSPIDATA SOLANUM JASMINOIDES

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